



BOARD OF VARIANCE

Thursday, February 9, 2023
Council Chambers, Richmond City Hall
7:00 p.m.

CALL TO ORDER

MINUTES

BOV-3 *Adoption of the **minutes** of the meetings of the Board of Variance held on May 29, 2019.*



- 1. BOARD OF VARIANCE APPEAL – 9800 PENDLETON ROAD
BV 22-026289**
(File Ref. No. BV 22-026289) (REDMS No. 7079464)

BOV-7

See Page BOV-7 for staff memorandum

Applicant: Barry Wosk

Address: 9800 Pendleton Road

Purpose: The applicant has submitted an appeal to the Board of Variance on behalf of the property owner, to permit expansion of a second-storey deck. This would require varying the following provisions of Zoning Bylaw 8500:

To reduce the minimum required rear yard setback under the “Single Detached (RS1/E)” zone for a portion of the second-storey from 9.15 m (30.0 feet) to 8.04 m (26.4 feet) to allow for the expansion of usable deck space.

Order of Proceedings:

1. Presentation from the applicant

**Board of Variance Agenda
Thursday, February 9, 2023**

Pg. #

ITEM

- 2. Written submissions
- 3. Public submissions
- 4. Board deliberation

ADJOURNMENT



Board of Variance

Wednesday, May 29, 2019

Place: Council Chambers
Richmond City Hall

Present: Kailin Che
Diana Dickey
Sheng Zhong

Acting Secretary to the Board – Claudia Jesson

Absent: Sheldon Nider
Dalip Sandhu

Call to Order: The meeting was called to order at 7:07 p.m.

CALL TO ORDER

ELECTION OF CHAIR

The Secretary to the Board called for nominations for the election of a Chair to the Board of Variance.

It was moved and seconded

That Diana Dickey be elected as Chair of the Board of Variance.

CARRIED

MINUTES

It was moved and seconded

That the minutes of the meeting of the Board of Variance held on April 19, 2018, be adopted.

CARRIED

Board of Variance
Wednesday, May 29, 2019

1. **BOARD OF VARIANCE APPEAL (PHIL AND MICHELE ISAAK – 8351 PIGOTT ROAD)**

(File Ref. No. BV 19-858915) (REDMS No.6176078)

APPLICANT: Michele and Phil Isaak

ADDRESS: 8351 Pigott Road

PURPOSE: The applicant has submitted an appeal to the Board of Variance for the property at 8351 Pigott Road in order to vary the following provisions of Zoning Bylaw 8500:

1. Reduce the minimum required side yard setback (Section 4.7.8) from 1.2 m for portions of the principal building which do not exceed 5.0 m in height to 0 m.

Applicant's Comments

Michele and Phil Isaak provided a brief overview of the application to the Board of Variance and noted that:

- the application is being considered due to an issue with a neighbour from previous years regarding a tree in the backyard;
- an inspector came to the door and advised that a complaint was received regarding their carport and as it is not compliant with the City's zoning bylaws they would be required to submit building plans and seek approval;
- plans were submitted and approved; however the approved design was not feasible as it did not allow enough space to fit the car, therefore they did not change the existing carport;
- the neighbours on either side of their property have been consulted and they received no complaints regarding the carport;
- it is extra storage space for them as well as protecting cars from the weather as they do not have a garage; and
- the issue has re-surfaced recently as the file was still open and an inspector advised that a variance would be required to keep the existing structure.

2.

Board of Variance
Wednesday, May 29, 2019

Board Discussion

In answer to questions from members of the Board, Mr. and Mrs. Isaak and staff provided the following information:

- the building plans submitted to the City were approved; however not feasible as it does not fit a car;
- the temporary structure that was originally erected was not attractive or structurally sound to withstand various weather types;
- there is a shed in the backyard that is not structurally capable of holding a car; and
- the only concern with the current structure is compliance with the BC Building Code, for that reason there is a 1.2 m setback in place.

Written Submission

None.

Gallery Comments

None.

Board Deliberation

None.

Board Decision

It was moved and seconded

That the appeal application to vary the provisions of Zoning Bylaw 8500 to reduce the minimum required side yard setback (Section 4.7.8) from 1.2 m for portions of the principal building which do not exceed 5.0 m in height to 0 m for 8351 Pigott Road be granted.

CARRIED

Board of Variance
Wednesday, May 29, 2019

ADJOURNMENT

It was moved and seconded
That the meeting adjourn (7:31 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the Regular meeting of the Council of the City of Richmond held on Wednesday, May 29, 2019.

Diana Dickey
Chair

Claudia Jesson
Acting Secretary to the Board



To: Board of Variance **Date:** January 23, 2023
From: Wayne Craig **File:** BV 22-026289
 Director, Development
Re: Board of Variance Appeal (Barry Wosk - 9800 Pendleton Road)

Purpose

The subject property contains a single-detached house that is currently under construction. A Building Permit (BP 22-007721) was issued in June 2022 for the construction of a single-detached home at 9800 Pendleton Road. The building is currently being constructed according to approved plans.

Barry Wosk has submitted an appeal to the Board of Variance on behalf of the property owner, Serena K Lusk, to permit expansion of a second-storey deck. This would require varying the following provisions of Zoning Bylaw 8500:

1. Reduce the minimum required rear yard setback under the “Single Detached (RS1/E)” zone for a portion of the second-storey from 9.15 m (30.0 feet) to 8.04 m (26.4 feet) to allow for the expansion of usable deck space.

The existing second-storey deck, which is approved under the Building Permit, is built on top of a ground level porch and projects 3.8 m (12.3 feet) from the rear face of the house. Both the porch and second-storey deck are compliant with the first-storey rear yard setback requirement, however a portion of the deck projects into the second-storey rear yard setback. As such, a safety railing is placed along this setback line, rendering a portion of the deck space unusable. Permitting the reduced setback would allow the applicant to apply for a Building Permit to move the safety railing to the edge of the deck, expanding the usable portion of the deck.

A location map and aerial map of the subject property are provided in Attachment 1. Information and rationale submitted in conjunction with the Board of Variance appeal are provided in Attachment 2. A copy of the drawings submitted showing the requested variance are provided in Attachment 3. The original building permit package is provided in Attachment 4.

Findings of Fact

The following table provides the regulatory context of the subject application at 9800 Pendleton Road (Attachment 1), selected property features and the proposed variance.

	Existing	Proposed	
Site Size:	668 m ²	No change	
Land Use:	Single Family Residential	No change	
OCP Designation:	Neighbourhood Residential	No change	
Zoning:	Single Detached (RS1/E)	No change	
	Required	Proposed	Variance
Rear Yard Setback (2 nd Storey)	Min. 9.15 m (30.0 feet)	8.04 m (26.4 feet)	Yes



Staff Comments

Zoning Bylaw 8500 establishes a minimum rear yard setback for residential dwellings. The “Single Detached (RS1/E)” zone establishes a minimum rear yard for the subject property as:

- 7.32 m (24.0 feet) for 60 per cent of the rear wall of the first-storey, and 9.15 m (30.0 feet) for 40 per cent of the rear wall of the first-storey.
- 9.15 m (30.0 feet) for the second-storey.

The deck complies with all other technical requirements contained in the "Single Detached (RS1/E)" zone. Extending the railing to the outer edge to allow the additional space to be usable would result in the deck encroaching 1.1 m (3.6 feet) into the required rear yard setback of 9.15 m (30.0 feet).

The structure, as built, is fully compliant with the BC Building Code (BCBC). Should the Board of Variance grant the request by the applicant, the applicant would be required to apply for an additional Building Permit with the City of Richmond to address the relocation of the guard railing and ensure compliance with the BCBC is maintained.

Conclusion

The applicant has submitted an appeal to the Board of Variance for 9800 Pendleton Road in order to vary the second-storey rear yard setback (Section 8.1.6.6) for the extension of the usable space of the existing second-storey deck. The proposal is being forwarded to the Board of Variance for consideration.

At the conclusion of the hearing for an application, the Board may:

- Grant or deny the order requested by the applicant and provide reasons.
- Request further information from the applicant, City staff, or any person who has made a submission to the Board in respect to the application and adjourn the meeting.
- Reserve its decision and provide a written decision at a later date.

 for

Wayne Craig
Director, Development
(604-247-4625)

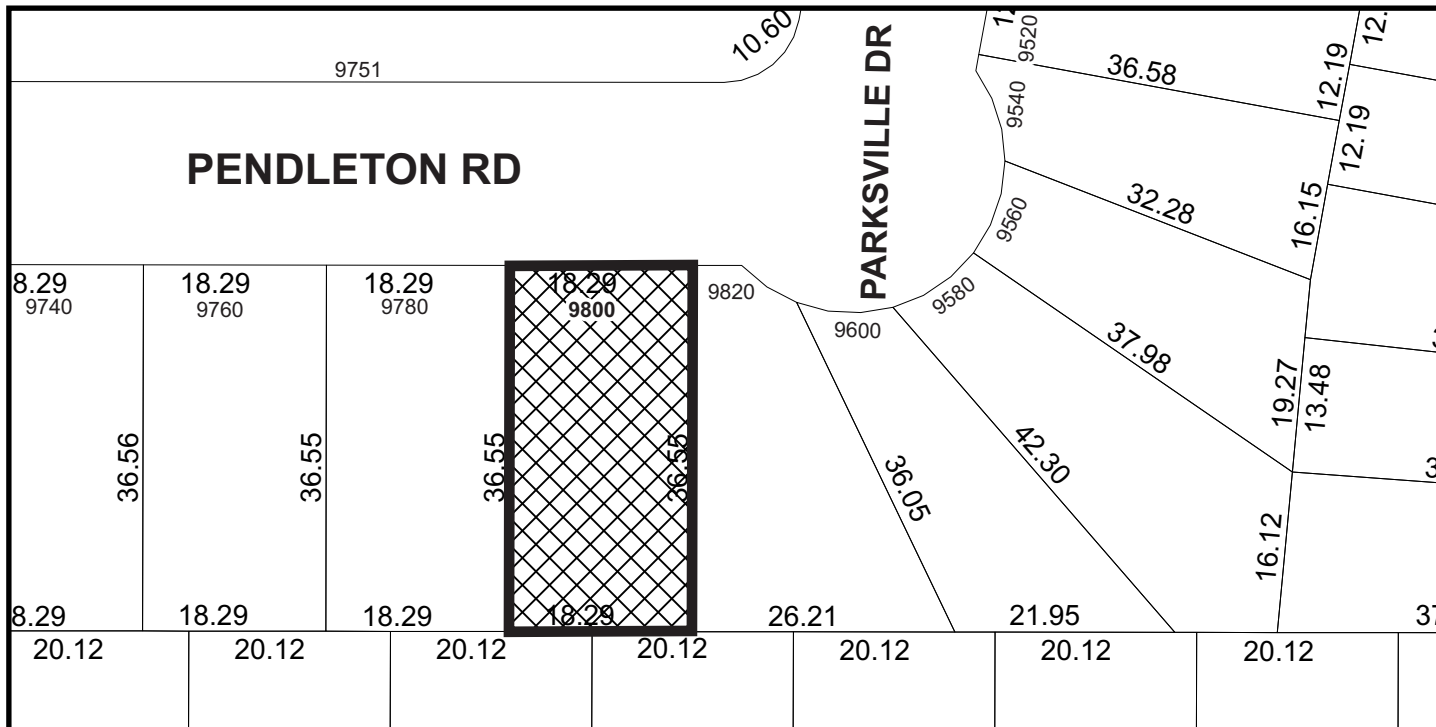
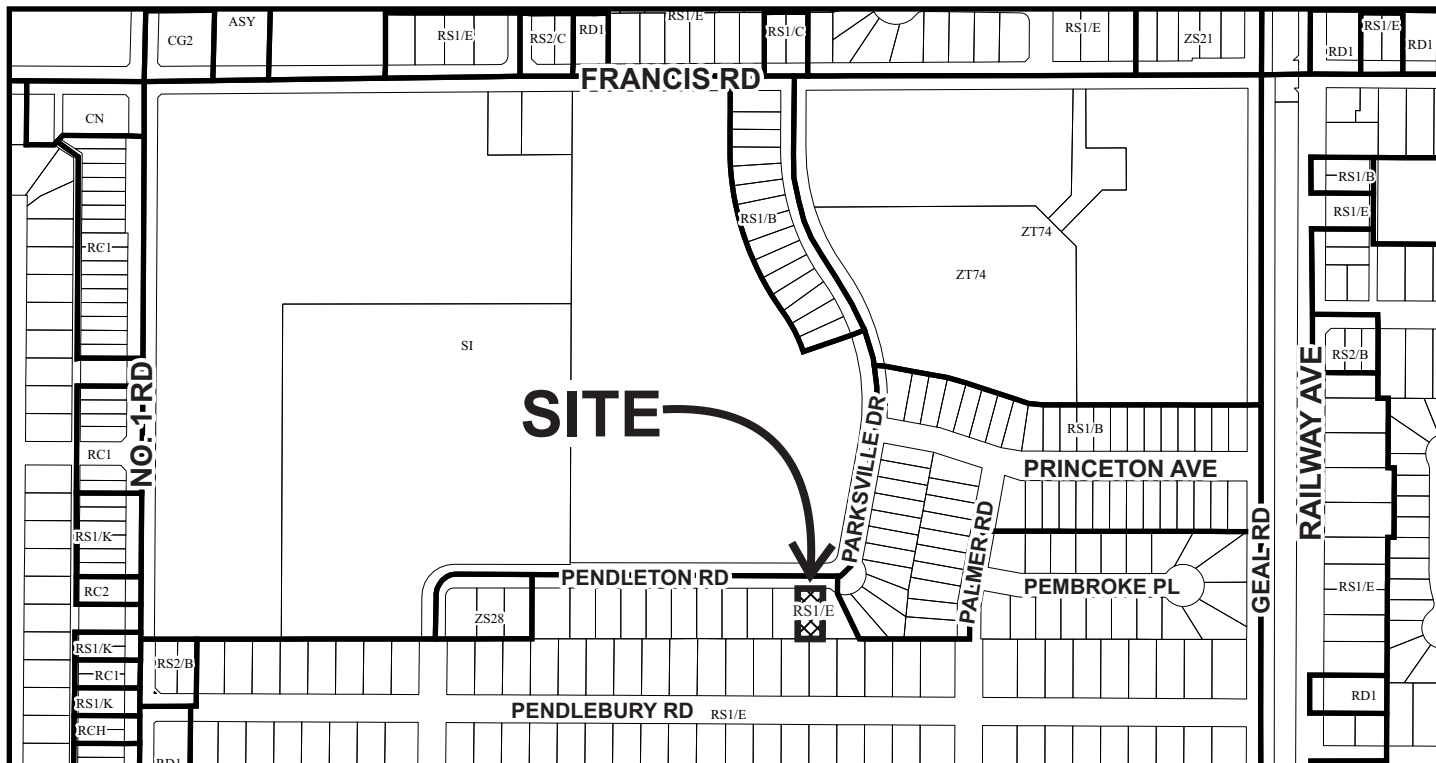
WC/ac

Attachments:

- Attachment 1: Location Map/Aerial Map
- Attachment 2: Hardship Rationale
- Attachment 3: Variance Package
- Attachment 4: Building Permit Drawing Package



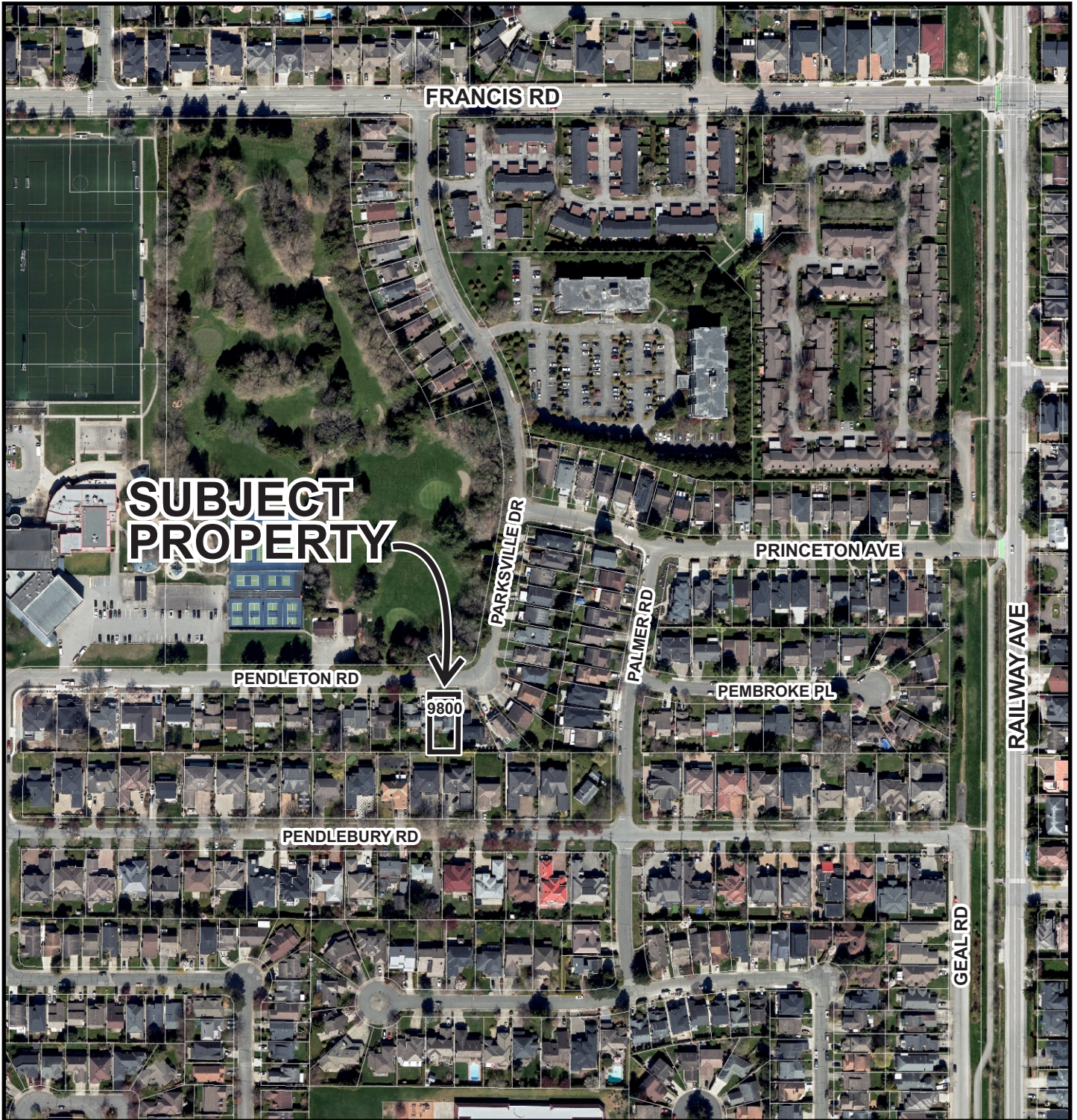
City of
Richmond



	<h1>BV 22-026289</h1>	<p>Original Date: 01/04/23</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p>
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City of Richmond



**SUBJECT
PROPERTY**

9800



BV 22-026289

Original Date: 01/04/23

Revision Date:

Note: Dimensions are in METRES

Explanation of Hardship

We have tried to be good neighbours by designing our home with more than double the required side setbacks (9' vs. 4') so as to not be encroaching on adjacent homes. This has had the effect of making our home narrower but longer. Despite this our first floor wall is nearly 15' from the required rear yard setback and our second floor wall is over 8' from the required rear setback. In other words, the house walls are nowhere near the setbacks.

Our approved patio cover/second floor deck extends 12'4" from the back of the house. This is well within the main floor setback, however, it crosses over the top floor setback. The net result is that we are forced to put our safety railing in the middle of our deck.

In addition to losing utilization of more than 30% of our available deck space we also believe this will be unsightly as viewed from both our yard and our neighbours' yards (i.e., a portion of the deck space will appear unfinished or an afterthought).

Mitigating factors:

1. The deck structure is already approved and built, i.e., we will not be building any further structure. This is simply a matter of where the safety railing is positioned on the existing deck.
2. The railing will consist of mostly glass, meaning there will be no visible obstructions. This will help maintain a feeling of openness in the area which we believe is the intent of the setback requirements.
3. We have letters from three adjacent neighbours (attached) in support of this variance.

August 24, 2022

To whom it may concern:

My name is Sandra Shewchuk and I am the registered owner of the house at 9780 Pendleton Road.

I have been advised by our neighbour, currently building at 9800 Pendleton Road, of their intention to apply for a setback variance with respect to their second-floor deck in the back yard and I support this application.

I can be reached for any questions at 604 785-2214 or
(phone)

SandraShew2@hotmail.com
(e-mail)

Sincerely,



(sign here)

August 24, 2022

To whom it may concern:

My name is Rebecca Fung and I am the registered owner of the house at 9820 Pendleton Road.

I have been advised by our neighbour, currently building at 9800 Pendleton Road, of their intention to apply for a setback variance with respect to their second-floor deck in the back yard and I support this application.

I can be reached for any questions at 604-961-0868 or
(phone)

rebecca.fung0806@gmail.com
(e-mail)

Sincerely,



(sign here)

August 24, 2022

To whom it may concern:

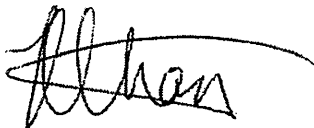
My name is Keith Chan and I am the registered owner of the house at 4651 Pendlebury Road.

I have been advised by our neighbour, currently building at 9800 Pendleton Road, of their intention to apply for a setback variance with respect to their second-floor deck in the back yard and I support this application.

I can be reached for any questions at 604-765-6078 or
(phone)

keithlora@outlook.com
(e-mail)

Sincerely,



(sign here)

Attachment 3

SITE PLAN & ROOFING LAYOUT

SCALE 1/8" = 1'-0"

PERMEABLE CALCULATION AREAS:
 LOT AREA : 7,202.37 Ft² (669.10M²)
 LESS SFD FOOTPRINT: 2,816.11 Ft²
 LESS DRIVEWAY / FRONT WALKWAY: 582.78 Ft²
 LESS SIDE YARDS (A + B) : 475.14 Ft²
 LESS OPEN REAR PATIOS / POOL (A + B + C): 701.61 Ft²
 PERMEABLE AREAS : 2,626.73 Ft²

REQ'D PERMEABLE AREAS : 30 %
 PROPOSED PERMEABLE AREAS : 36.47 %

TOTAL DRIVEWAY / WALKWAY - 582.78 Ft²
 DRIVEWAY WITHIN 6M SETBACK - 523.04 Ft²

FRONT YARD LANDSCAPING REQUIREMENTS
 FRONTAGE AREA = VIA. COMPUTER (PROPERTY LINES SLIGHTLY ANGLED) = 6M x 18.292M = 109.752M² 1,181.40 Ft²
 REQUIRED LANDSCAPE AREA :
 55% x 1,181.40 Ft² = 649.77 Ft².
 PROPOSED FRONT YARD LANDSCAPED AREA
 WITHIN 6M = LOT AREA 1,181.40 Ft² LESS DRIVEWAY 523.04 Ft²
 = LANDSCAPED AREA 658.36 Ft² = 55.73%

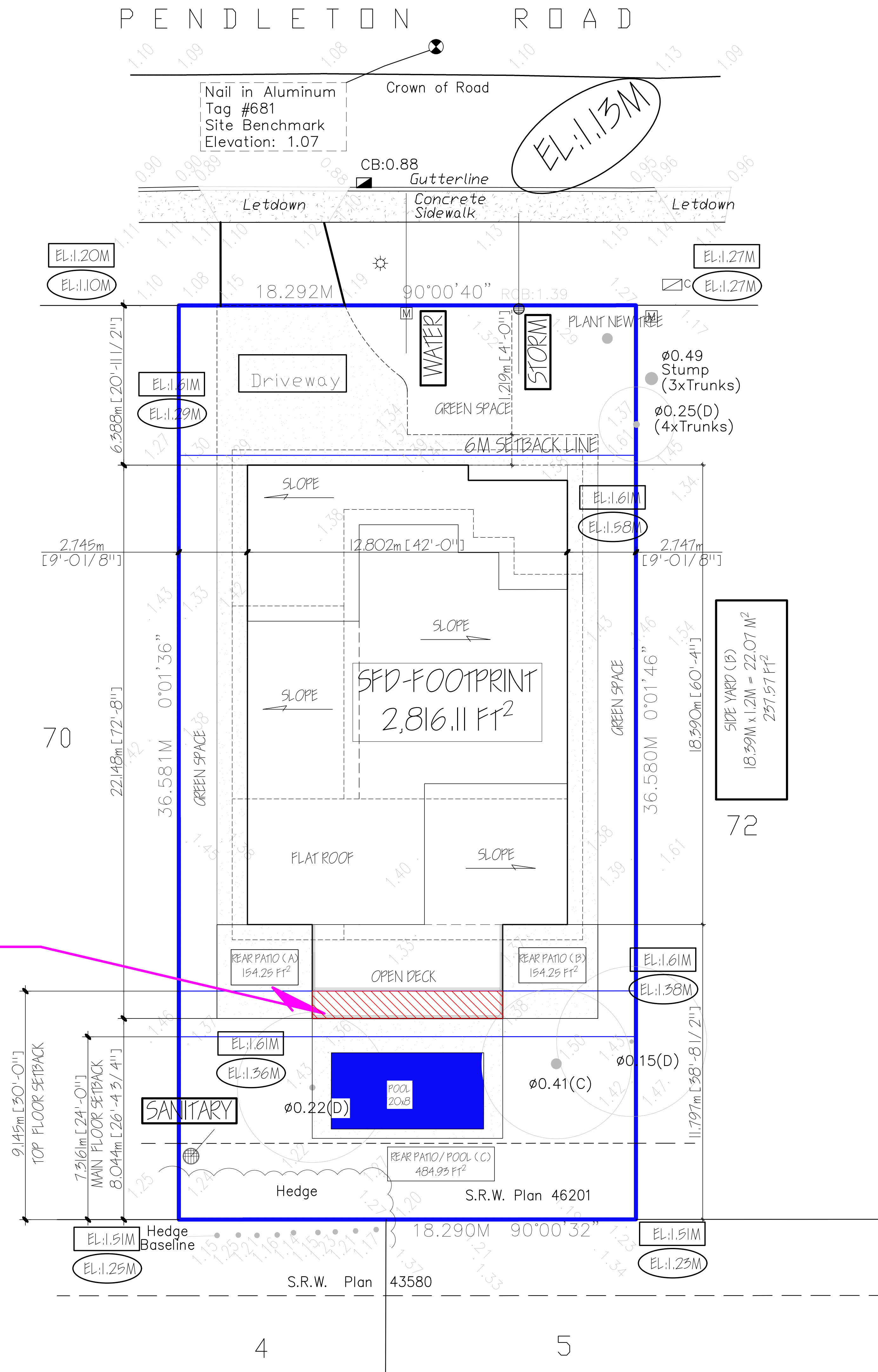
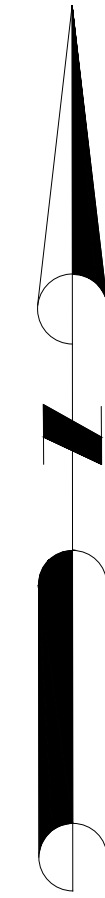
PROPOSED VARIANCE
 APPLICANT IS REQUESTING FOR CONSIDERATION TO
 EXTEND THE DECK HANDRAILS BEYOND THE TOP FLOOR
 SETBACK REQUIREMENT.

REAR YARD SETBACK CALCULATIONS.

REQUIRED REAR SETBACKS :
 MAIN FLOOR : 20% x 36.5805M = 7.3161M - 24 FT
 TOP FLOOR : 25% x 36.5805M = 9.145M - 30 FT

CONTINUOUS WALL LENGTH CALCULATION.

WALL LENGTH PERMITTED : 55% x 36.581M = 20.1196M - 66 FT (WEST SIDE)
 WALL LENGTH PERMITTED : 55% x 36.58M = 20.119M - 66 FT (EAST SIDE)



LEGEND:

- (C) denotes conifer
- (D) denotes deciduous
- ⊙ denotes round catch basin
- denotes catch basin
- M denotes water meter
- IC denotes inspection chamber
- ⊙ denotes lamp standard

NOTE:

Use site Benchmark Tag #681 for construction elevation control.

EXISTING ROAD CENTRE LINE GRADE ELEV. : 1.13M ⊙
 EXISTING AVERAGE LOT GRADE ELEV. : 1.21M ⊙
 PROPOSED AVERAGE LOT GRADE ELEV. : 1.37M ⊙
 FINISHED GRADE AT HOUSE CORNERS ELEV.: 1.61M ⊙
 TOP OF SLAB ELEV. = 1.81M. ⊙
 BUILDING HEIGHT MEASURED FROM : 1.43M ⊙

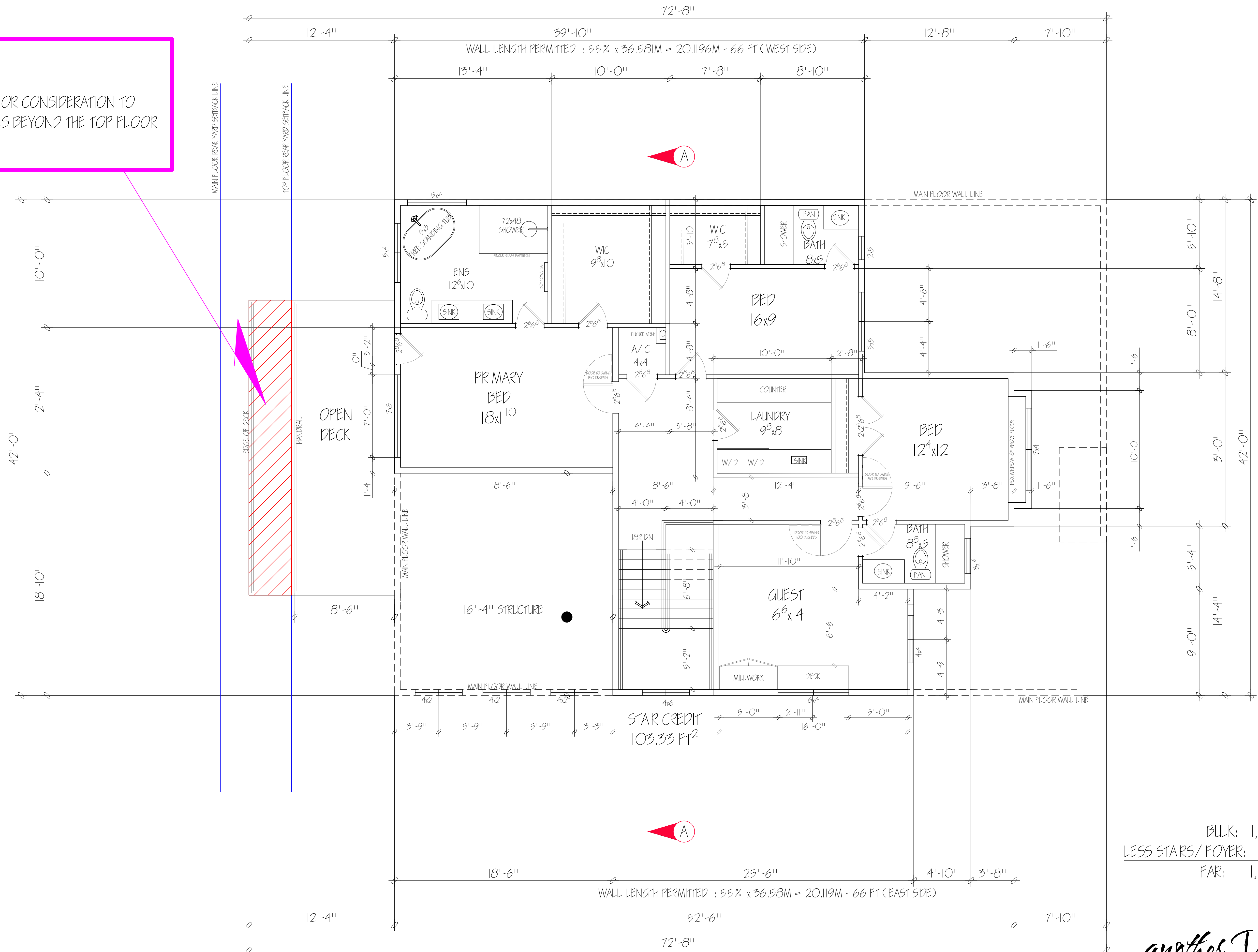
LEGEND

- EL: ⊙ EXISTING GRADE ELEVATION FROM TOPOGRAPHICAL PLAN
 - EL: □ FINISHED GRADE ELEVATION
- *ALL ELEVATIONS SHOWN IN METRIC

another Ventura design
 9800 Pendleton Road - sh. 1

PROPOSED VARIANCE

APPLICANT IS REQUESTING FOR CONSIDERATION TO EXTEND THE DECK HANDRAILS BEYOND THE TOP FLOOR SETBACK REQUIREMENT.



BULK: 1,573.68 Ft²
 LESS STAIRS/ FOYER: 103.33 Ft²
 FAR: 1,470.35 Ft²

TOP FLOOR PLAN (9 FT CEILING)
 SCALE 1/4" = 1'-0"

another Ventura design
 9800 Pendleton Road - sh. 2

PROPOSED VARIANCE

APPLICANT IS REQUESTING FOR CONSIDERATION TO EXTEND THE DECK HANDRAILS BEYOND THE TOP FLOOR SETBACK REQUIREMENT.

UNPROTECTED OPENINGS:
 LIMITED DISTANCE : 9'-0" (2.74M)
 WALL AREA : 1,041.42 Ft² (96.75M²)
 PERMITTED OPENINGS : 93.73 Ft² @ 9%
 PROPOSED OPENINGS : 80 Ft²

SIDE VIEW (WEST)

SCALE 1/4" = 1'-0"



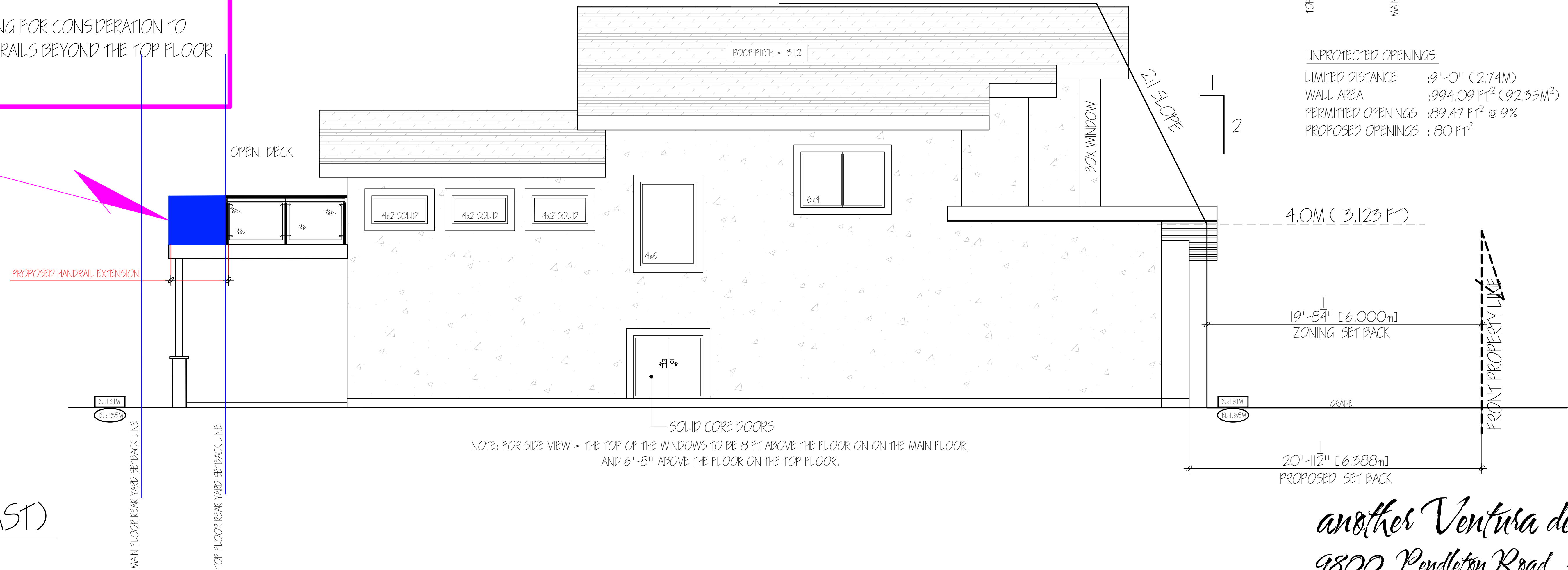
PROPOSED VARIANCE

APPLICANT IS REQUESTING FOR CONSIDERATION TO EXTEND THE DECK HANDRAILS BEYOND THE TOP FLOOR SETBACK REQUIREMENT.

UNPROTECTED OPENINGS:
 LIMITED DISTANCE : 9'-0" (2.74M)
 WALL AREA : 994.09 Ft² (92.35M²)
 PERMITTED OPENINGS : 89.47 Ft² @ 9%
 PROPOSED OPENINGS : 80 Ft²

SIDE VIEW (EAST)

SCALE 1/4" = 1'-0"



another Ventura design
 9800 Pendleton Road - sh.7

P E N D L E T O N R O A D

SITE PLAN & ROOFING LAYOUT

SCALE 1/8" = 1'-0"

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REQ'D PERMEABLE AREAS : 30 %
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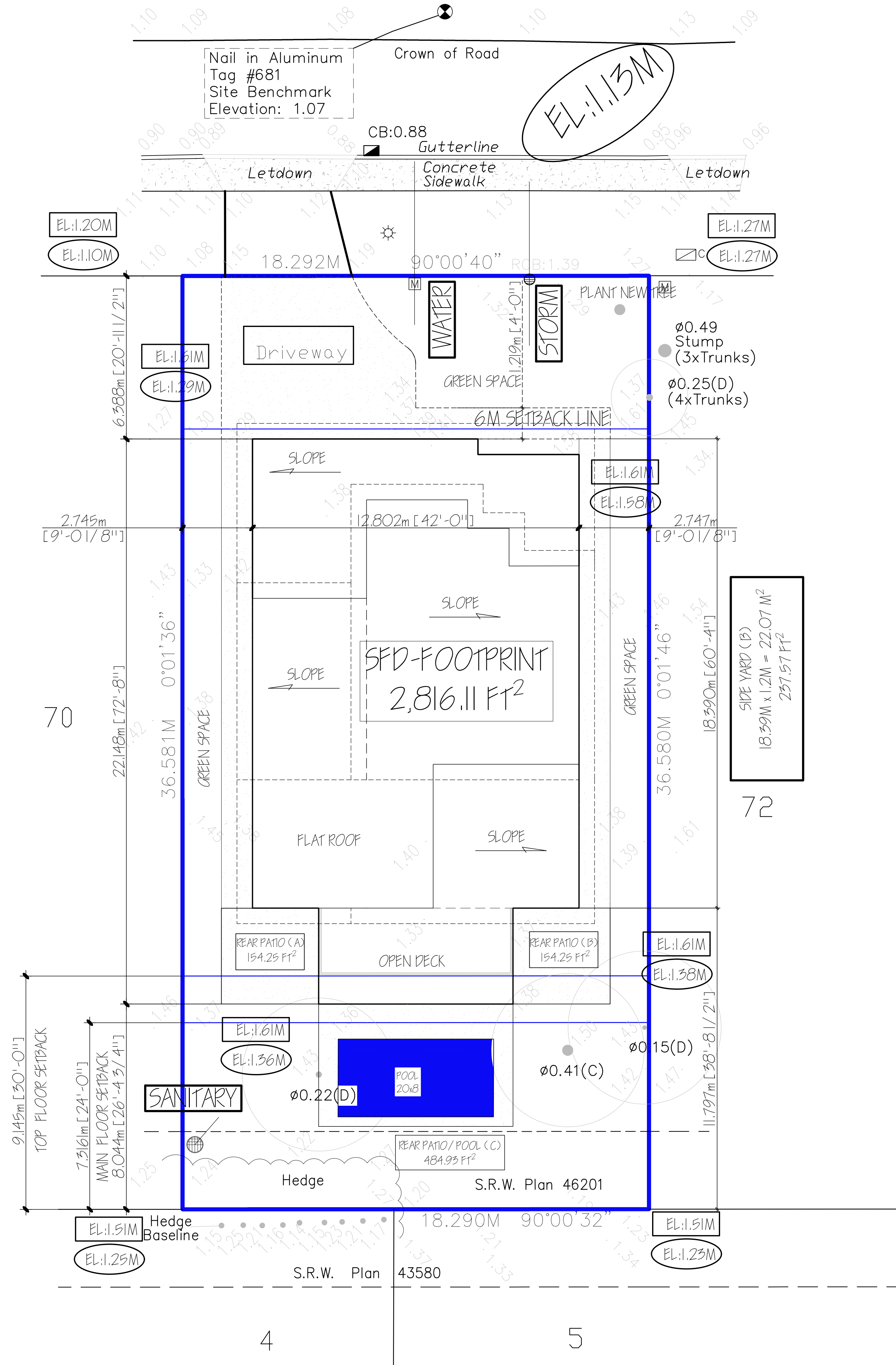
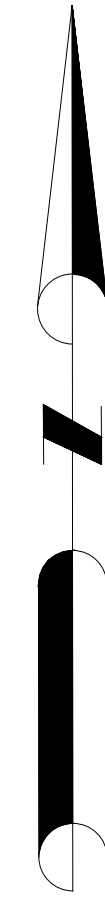
FRONT YARD LANDSCAPING REQUIREMENTS
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 REQUIRED LANDSCAPE AREA :
 55% x 1,181.40 Ft² = 649.77 Ft².
 PROPOSED FRONT YARD LANDSCAPED AREA
 WITHIN 6M = LOT AREA 1,181.40 Ft² LESS DRIVEWAY 523.04 Ft²
 = LANDSCAPED AREA 658.36 Ft² = 55.73%

REAR YARD SETBACK CALCULATIONS.

REQUIRED REAR SETBACKS :
 MAIN FLOOR : 20% x 36.5805M = 7.3161M - 24 FT
 TOP FLOOR : 25% x 36.5805M = 9.145M - 30 FT

CONTINUOUS WALL LENGTH CALCULATION.

WALL LENGTH PERMITTED : 55% x 36.581M = 20.1196M - 66 FT (WEST SIDE)
 WALL LENGTH PERMITTED : 55% x 36.58M = 20.119M - 66 FT (EAST SIDE)



LEGEND:

- (C) denotes conifer
- (D) denotes deciduous
- ⊙ denotes round catch basin
- ▣ denotes catch basin
- M denotes water meter
- IC denotes inspection chamber
- ⊙ denotes lamp standard

NOTE:

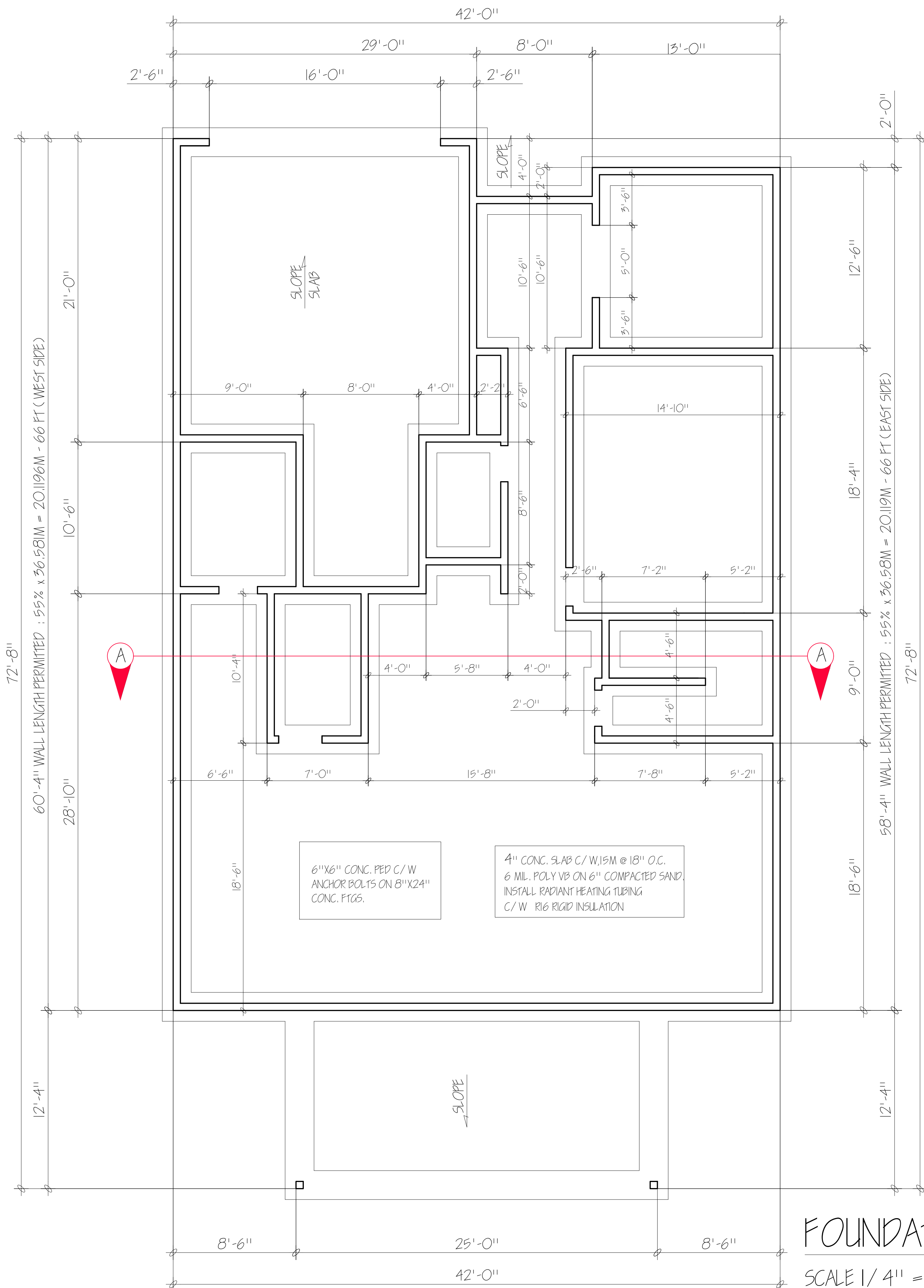
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EXISTING ROAD CENTRE LINE GRADE ELEV. : 1.13M
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 FINISHED GRADE AT HOUSE CORNERS ELEV.: 1.61M
 TOP OF SLAB ELEV. = 1.81M
 BUILDING HEIGHT MEASURED FROM : 1.43M

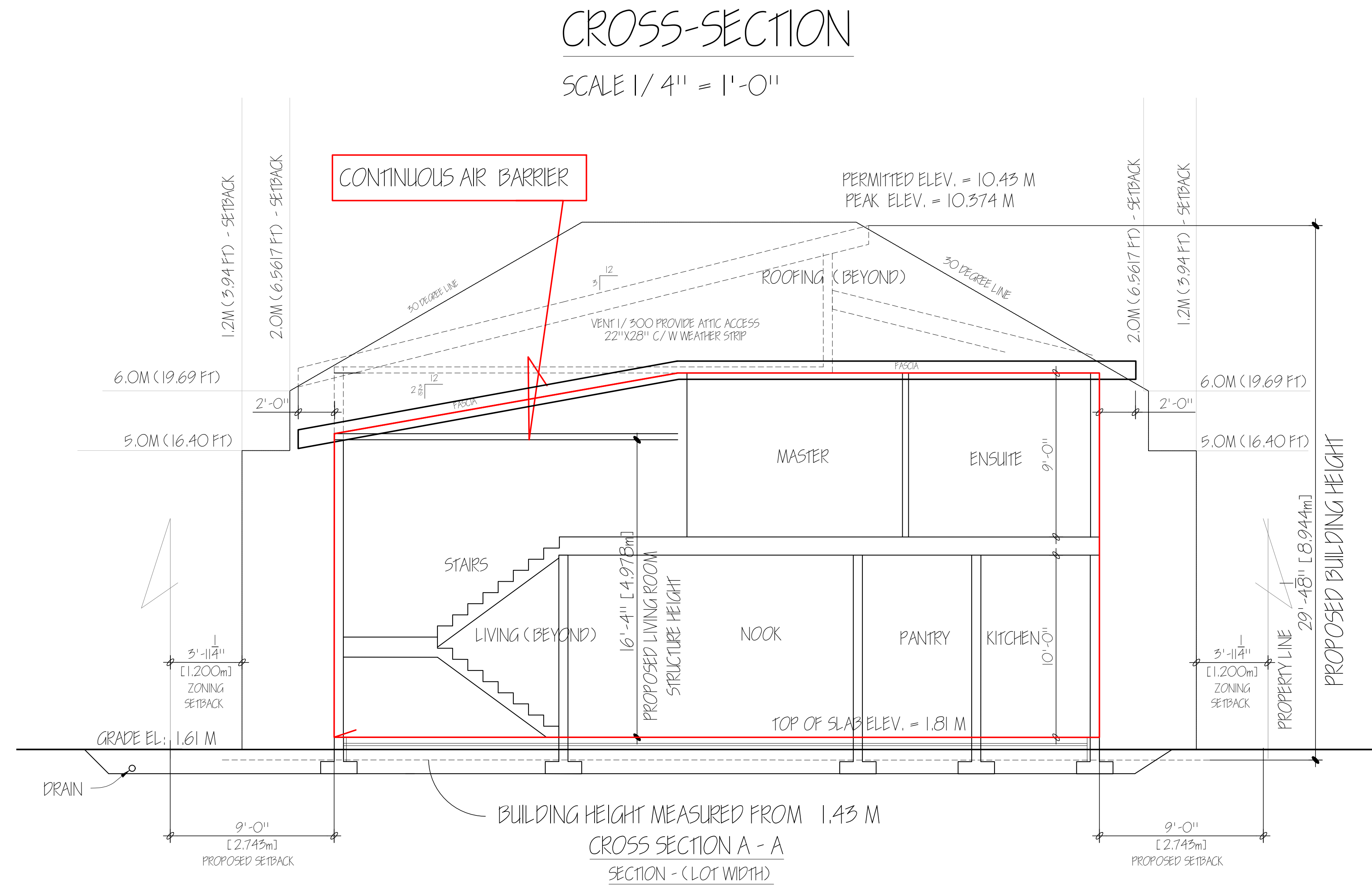
LEGEND

- EL: (circle) EXISTING GRADE ELEVATION FROM TOPOGRAPHICAL PLAN
 - EL: (square) FINISHED GRADE ELEVATION
- *ALL ELEVATIONS SHOWN IN METRIC

another Ventura design
 9800 Pendleton Road - sh. 2



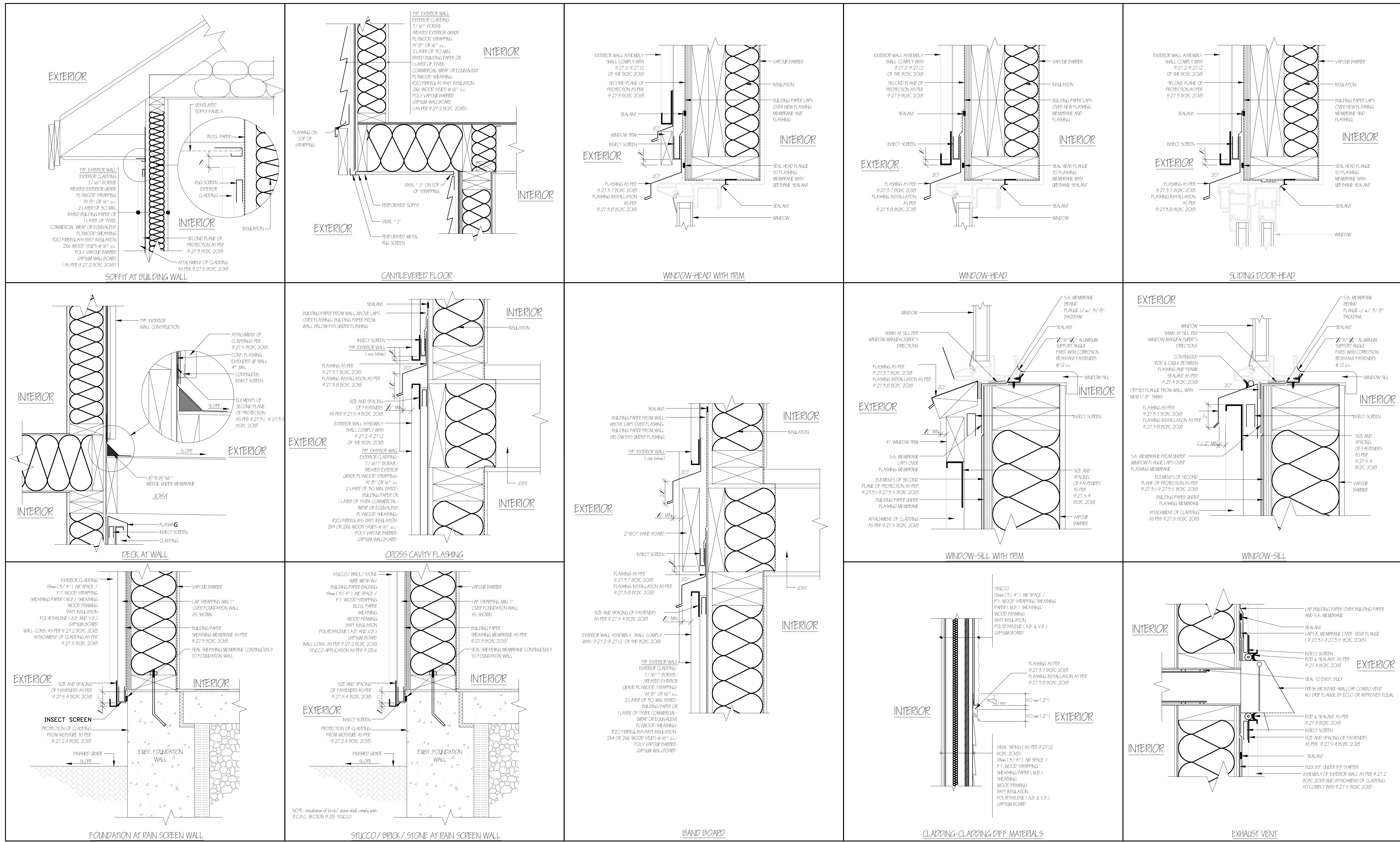
FOUNDATION PLAN
SCALE 1/4" = 1'-0"



CROSS-SECTION
SCALE 1/4" = 1'-0"

EXISTING ROAD CENTER LINE GRADE ELEV. : 1.13M
 EXISTING AVERAGE LOT GRADE ELEV. : 1.21M
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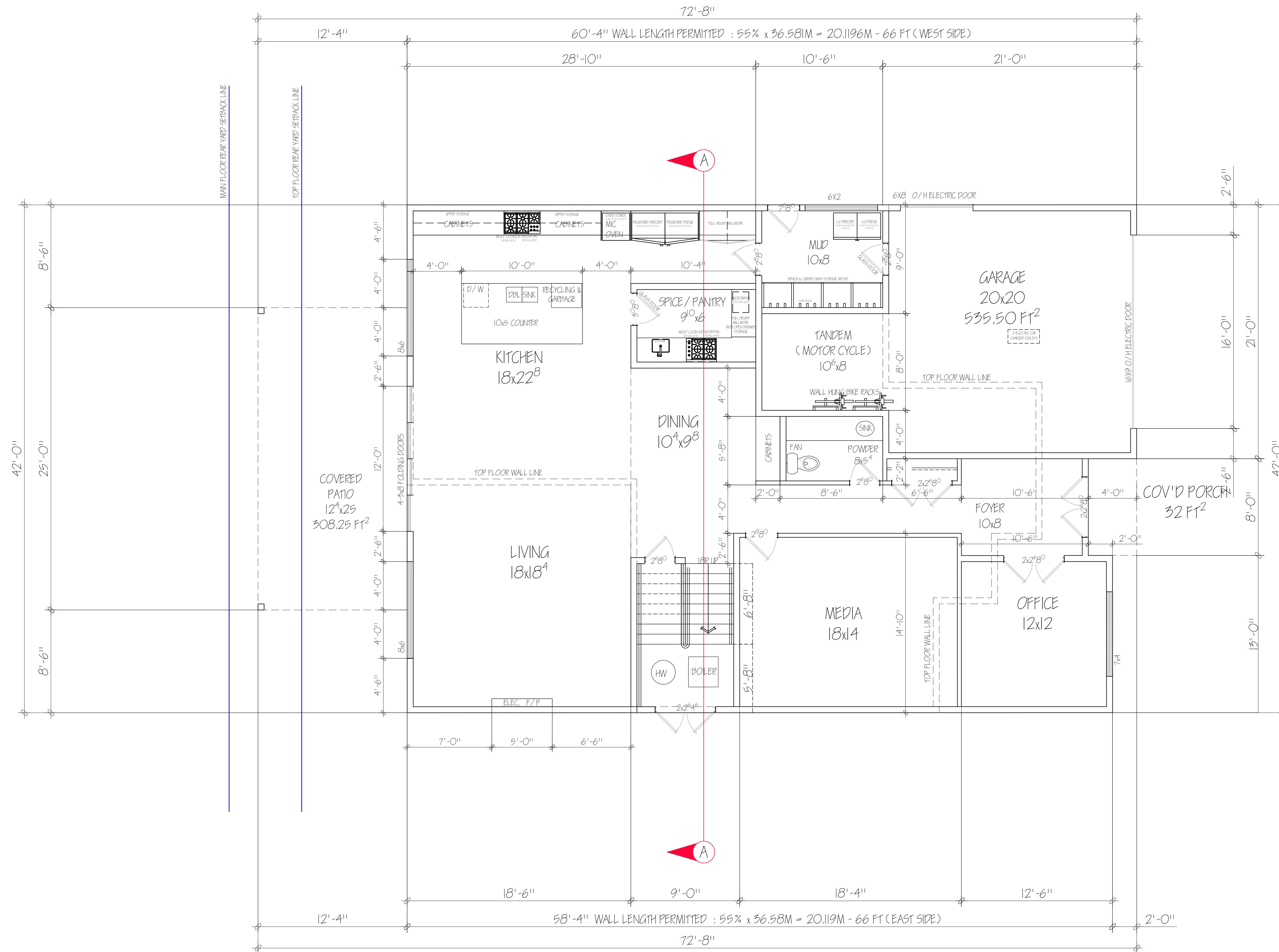
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9800 Pendleton Road - sh. 3



RAIN SCREEN DETAILS

SCALE 1/4" = 1'-0"

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 9800 Pendleton Road - sh. 4



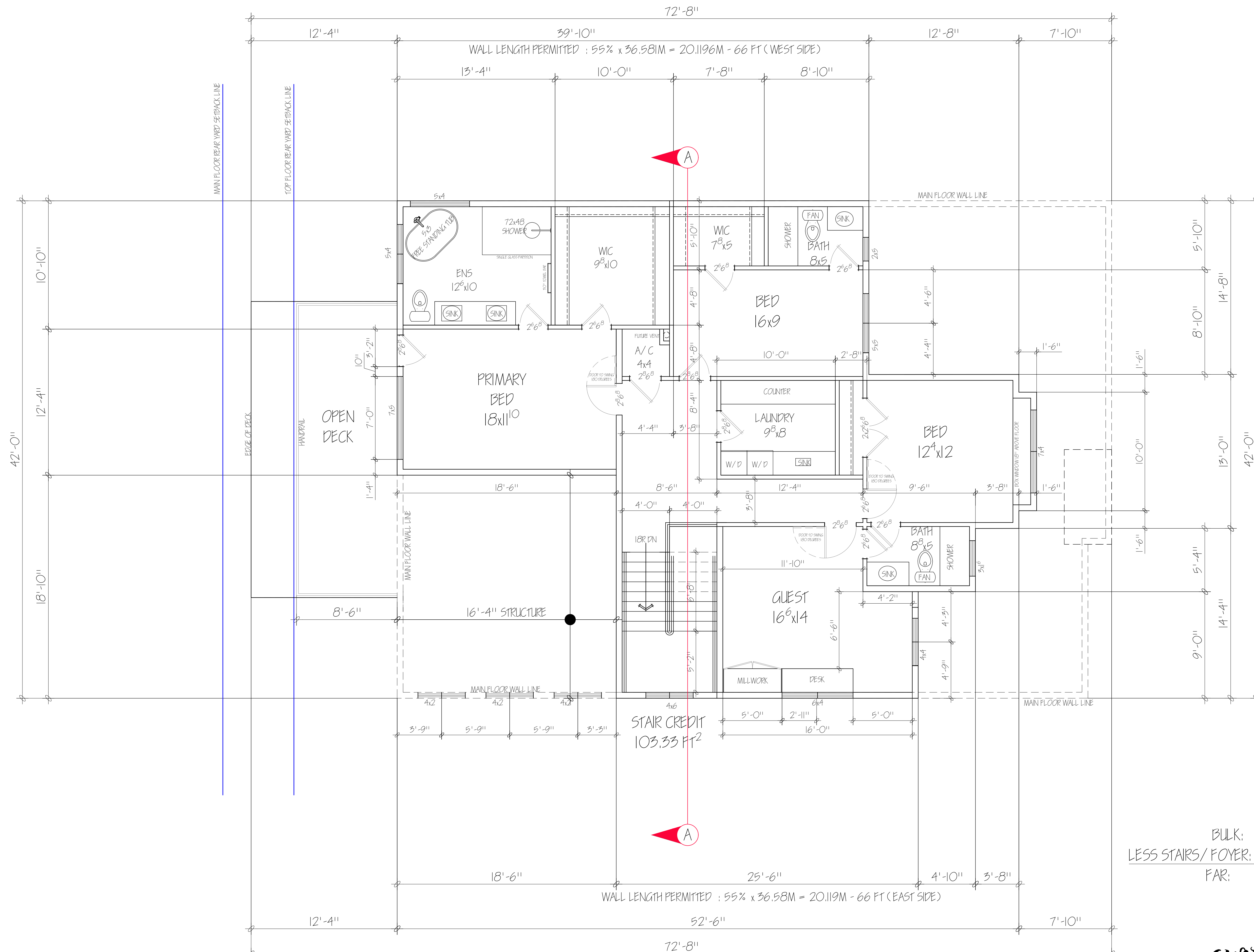
LOT AREA: 7,202.37 FT² (669.10M²)
 ALLOWABLE FAR: 3,410.71 FT²
 ACTUAL FAR: 3,410.71 FT²

FAR: 1,940.36 FT²
 PATIOS/PORCH: 340.25 FT²
 GARAGE ACTUAL: 535.50 FT²
 SITE COVERAGE: 2,816.11 FT²

MAIN FLOOR PLAN (10 FT CEILING)

SCALE 1/4" = 1'-0"

another Ventura design
 9800 Pendleton Road - sh.5



BULK: 1,573.68 FT²
 LESS STAIRS/FOYER: 103.33 FT²
 FAR: 1,470.35 FT²

TOP FLOOR PLAN (9 FT CEILING)

SCALE 1/4" = 1'-0"

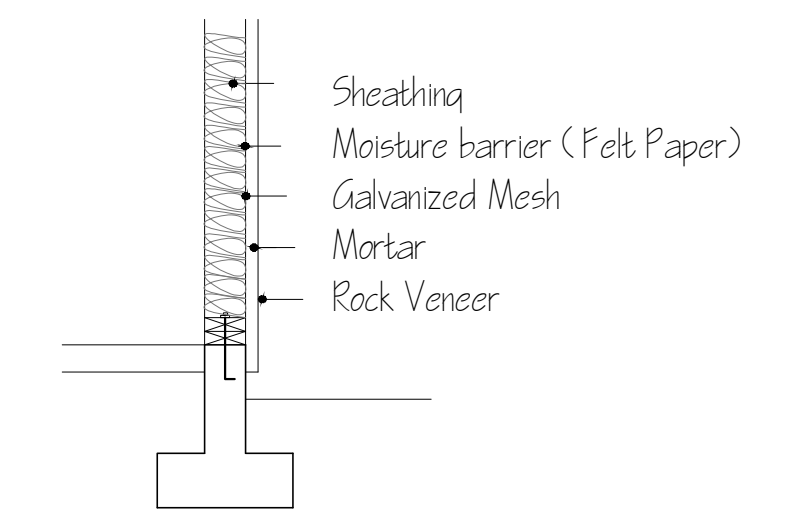
another Ventura design
 9800 Pendleton Road - sh. 6

FRONT VIEW

SCALE 1/4" = 1'-0"



ROCK VENEER ROCK DETAIL :



SPECIFICATIONS:
THE INSTALLATION OF THE ROCK VENEER TO COMPLY WITH 2012 BCBC

- APPLICATION:
1. APPLY 15 LB. FELT PAPER USING 1/2" GALVANISED ROOFING NAILS OR STAPLES.
 2. APPLY METAL LATH, TO WOOD JAMBS WITH PLYWOOD SHEATHING USING MIN. 1 1/2" GALVANISED ROOFING NAILS OR STAPLES.
 3. APPLY MORTAR SCATCH COAT, FORCING MORTAR INTO THE LATH AND COMPLETELY COVER THE MORTAR FOR AN OVERALL THICKNESS OF 3/8".
 4. SELECT ROCK OR VENEER ROCK APPLY THE MORTAR SETTING BED TO THE BACK SIDE, APPROX. 1/2" THICK, AND PLACE EACH ROCK ON THE THE MORTAR FACE.
 5. FILL IN THE GAPS BETWEEN THE ROCK VENEERS USING A GROUT BAG, AFTER THE THE FIRMNES HAS SET THEN USE A BLUNT INSTRUMENT TO RACK OUT THE ROUGH PIECES.
 6. APPLY A MASONARY SEALER FOR ADDITIONAL PROTECTION.

LEGEND UNPROTECTED OPENINGS:

El: (circle) EXISTING GRADE ELEVATION FROM TOPOGRAPHICAL PLAN

El: (square) FINISHED GRADE ELEVATION

* ALL ELEVATIONS SHOWN IN METRIC

SIDE VIEW

SCALE 1/4" = 1'-0"



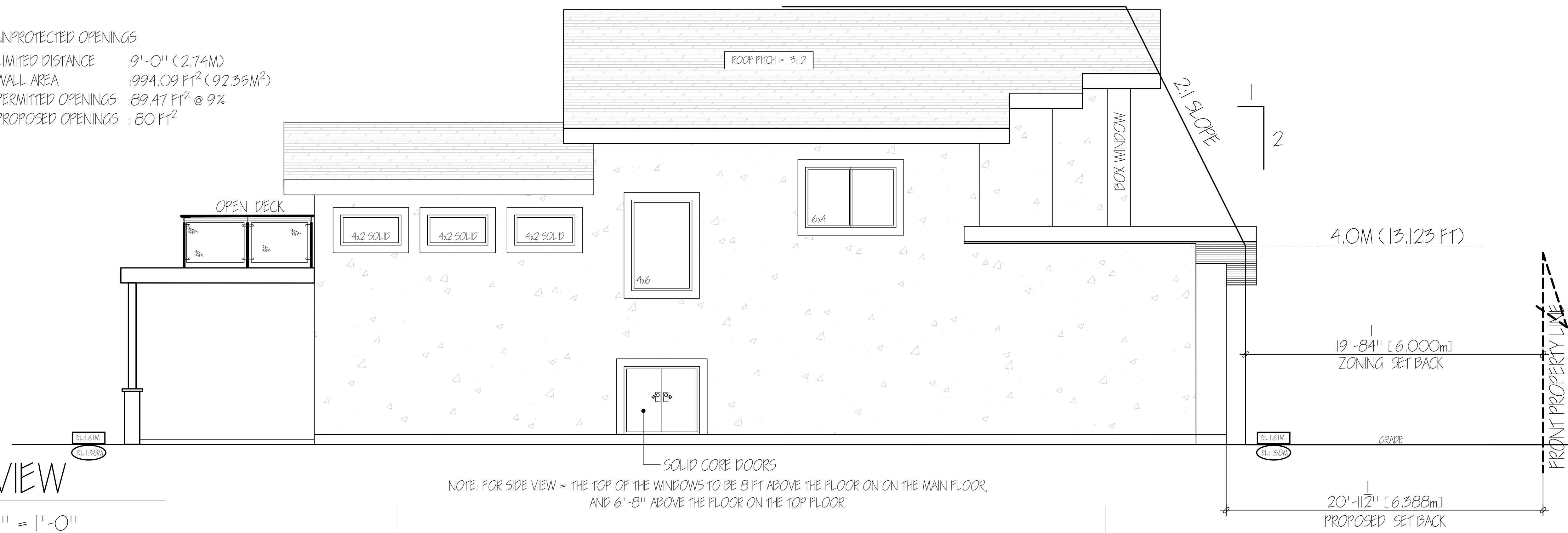
UNPROTECTED OPENINGS:

LIMITED DISTANCE	: 9'-0" (2.74M)
WALL AREA	: 1,041.42 FT ² (96.75M ²)
PERMITTED OPENINGS	: 93.73 FT ² @ 9%
PROPOSED OPENINGS	: 80 FT ²

another Ventura design
9800 Pendleton Road - sk. 7

UNPROTECTED OPENINGS:

LIMITED DISTANCE : 9'-0" (2.74M)
 WALL AREA : 994.09 Ft² (92.35M²)
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 PROPOSED OPENINGS : 80 Ft²

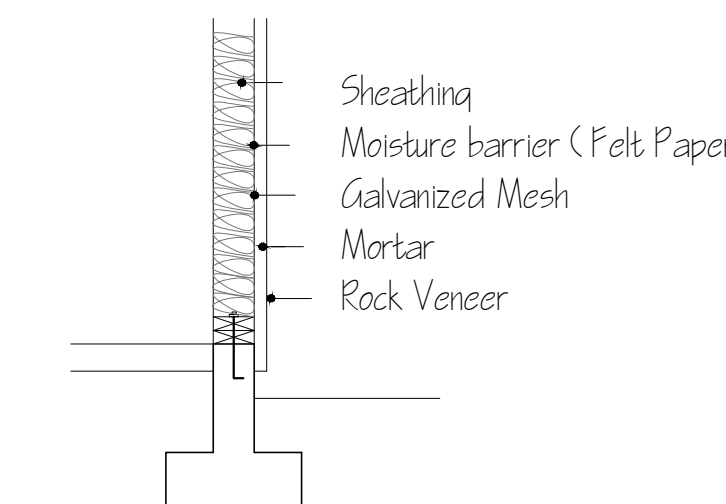


SIDE VIEW

SCALE 1/4" = 1'-0"

NOTE: FOR SIDE VIEW = THE TOP OF THE WINDOWS TO BE 8 FT ABOVE THE FLOOR ON THE MAIN FLOOR, AND 6'-8" ABOVE THE FLOOR ON THE TOP FLOOR.

ROCK VENEER ROCK DETAIL :



SPECIFICATIONS:
 THE INSTALLATION OF THE ROCK VENEER TO COMPLY WITH 2012 CBC

- APPLICATION:**
1. APPLY 15 LB. FELT PAPER USING 1/2" GALVANISED ROOFING NAILS OR STAPLES.
 2. APPLY METAL LATH, TO WOOD JAMBS WITH PLYWOOD SHEATHING USING MIN. 1 1/2" GALVANISED ROOFING NAILS OR STAPLES.
 3. APPLY MORTAR SCATCH COAT, FORCING MORTAR INTO THE LATH AND COMPLETELY COVER THE MORTAR FOR AN OVERALL THICKNESS OF 3/8".
 4. SELECT ROCK OR VENEER ROCK APPLY THE MORTAR SETTING BED TO THE BACK SIDE, APPROX. 1/2" THICK, AND PLACE EACH ROCK ON THE THE MORTAR FACE.
 5. FILL IN THE GAPS BETWEEN THE ROCK VENEERS USING A GROUT BAG. AFTER THE THE FIRMNES HAS SET THEN USE A BLUNT INSTRUMENT TO RACK OUT THE ROUGH PIECES.
 6. APPLY A MASONARY SEALER FOR ADDITIONAL PROTECTION.

LEGEND UNPROTECTED OPENINGS:

EL: (circle) EXISTING GRADE ELEVATION FROM TOPOGRAPHICAL PLAN

EL: (square) FINISHED GRADE ELEVATION

* ALL ELEVATIONS SHOWN IN METRIC



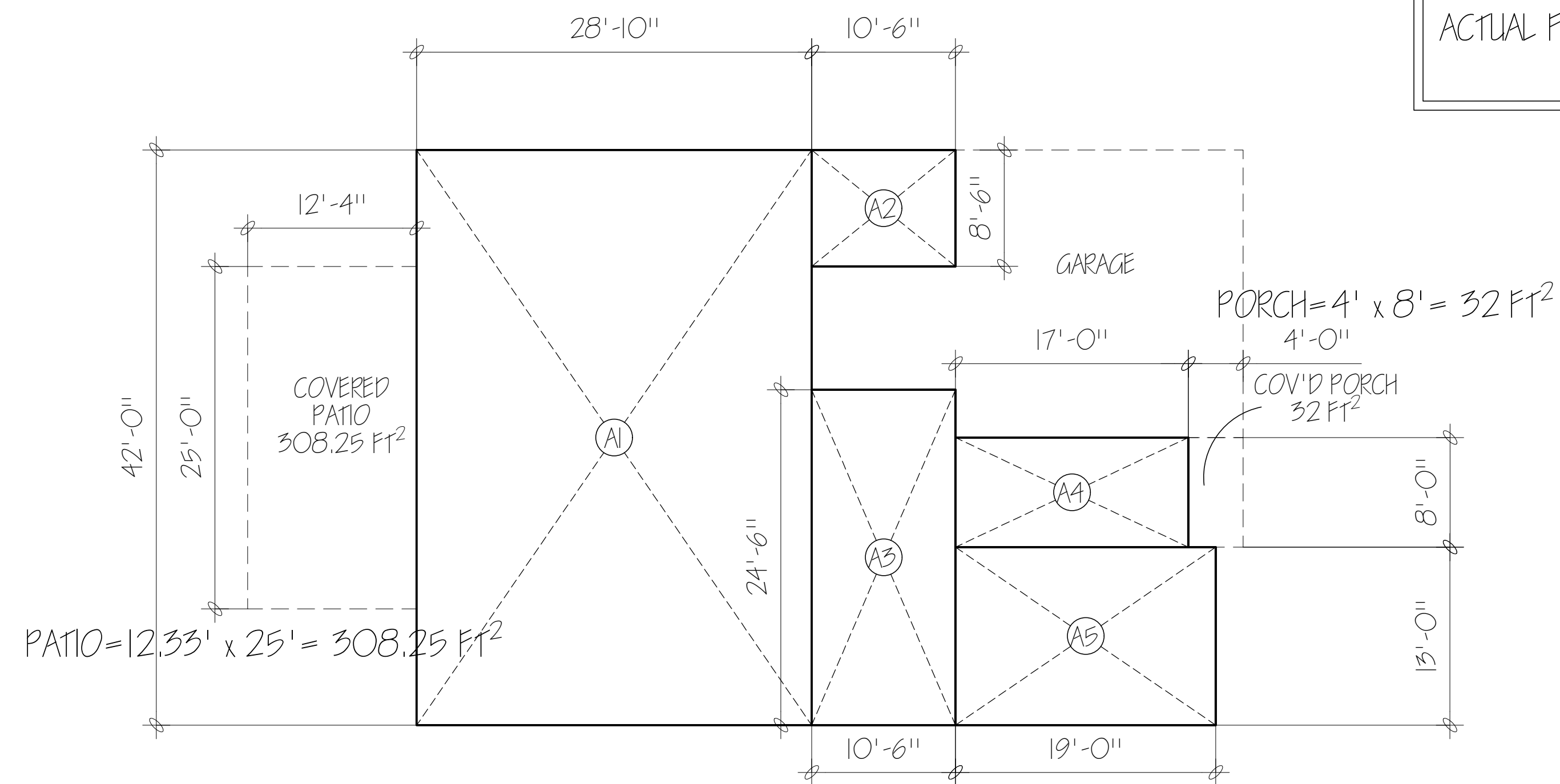
REAR VIEW

SCALE 1/4" = 1'-0"

NOTE: FOR REAR VIEW = THE TOP OF THE WINDOWS TO BE 8 FT ABOVE THE FLOOR ON THE MAIN FLOOR, AND 6'-8" ABOVE THE FLOOR ON THE TOP FLOOR.

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MAIN FLOOR



OVER-LAY ESTIMATE (GRD FLR)

$A1 = 28.83' \times 42' = 1,210.86 \text{ Ft}^2$
 $A2 = 10.5' \times 8.5' = 89.25 \text{ Ft}^2$
 $A3 = 10.5' \times 24.5' = 257.25 \text{ Ft}^2$
 $A4 = 17' \times 8' = 136.00 \text{ Ft}^2$
 $A5 = 19' \times 13' = 247.00 \text{ Ft}^2$
FAR = 1,940.36 Ft²

ACTUAL (GROUND FLR) CALCULATION

FAR: 1,940.36 Ft²
PATIOS/PORCH: 340.25 Ft²
GARAGE ACTUAL: 535.50 Ft²
SITE COVERAGE: 2,816.11 Ft²

ACTUAL LOT CALCULATION

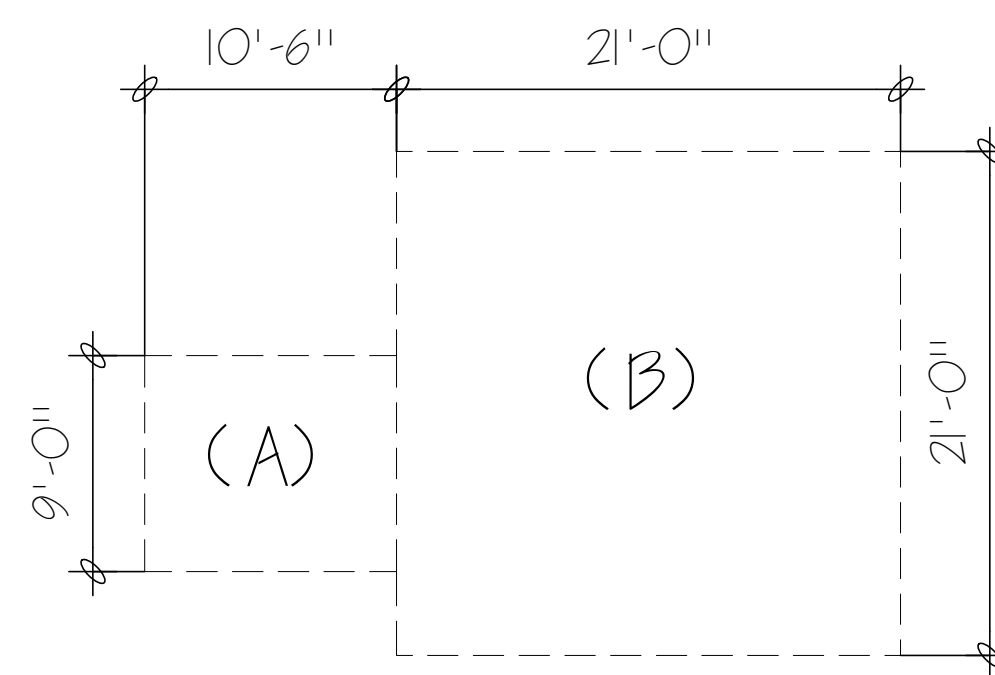
LOT AREA: 7,202.37 Ft² (669.10M²)
ALLOWABLE FAR: 3,410.71 Ft²
ACTUAL FAR: 3,410.71 Ft²

OVER-LAY CALCULATION:

FAR GRND = 2,303.47 Ft²
FAR TOP = 1,610.71 Ft²

FAR = 3,914.18 Ft²

GARAGE

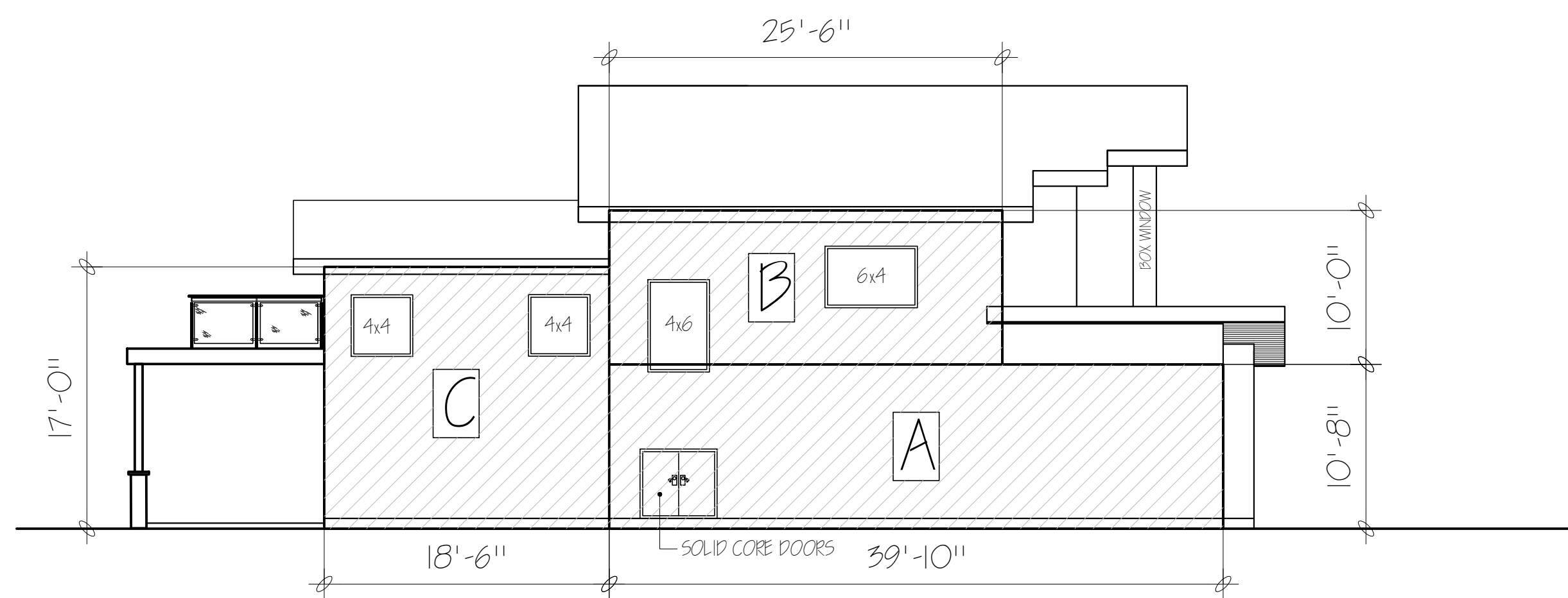


OVER-LAY ESTIMATE (GARAGE)

$A = 10.5' \times 9' = 94.50 \text{ Ft}^2$
 $B = 21' \times 21' = 441.00 \text{ Ft}^2$
GARAGE = 535.50 Ft²

OVER-LAYS

SCALE 1/8" = 1'-0"

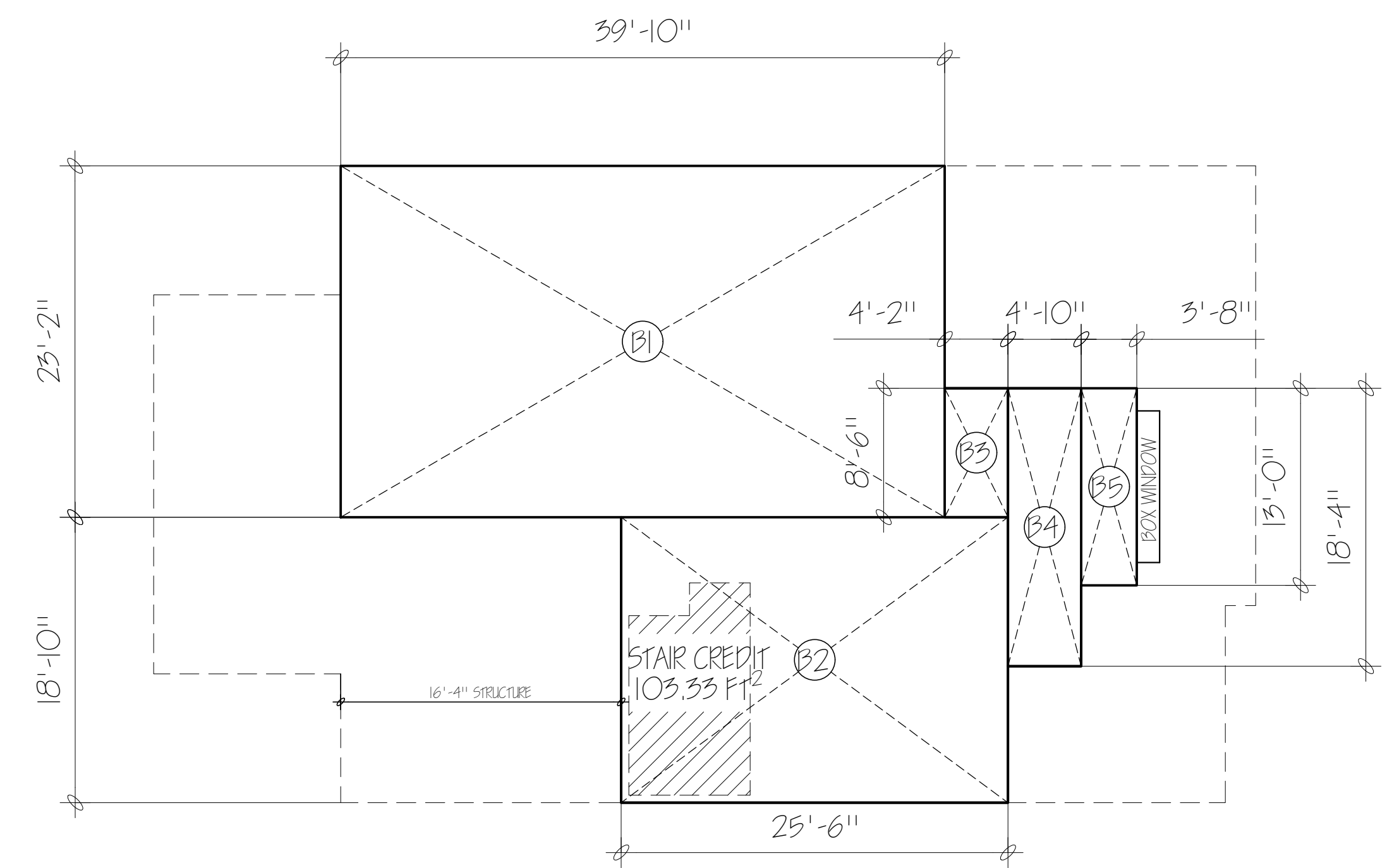


$A = 39.83' \times 10.66' = 424.59 \text{ Ft}^2$
 $B = 25.5' \times 10' = 255.00 \text{ Ft}^2$
 $C = 18.5' \times 17' = 314.50 \text{ Ft}^2$
WALL AREA = 994.09 Ft² (92.35M²)

UNPROTECTED OPENINGS:

LIMITED DISTANCE : 9'-0" (2.74M)
 WALL AREA : 994.09 Ft² (92.35M²)
 PERMITTED OPENINGS : 89.47 Ft² @ 9%
 PROPOSED OPENINGS : 80 Ft²

TOP FLOOR

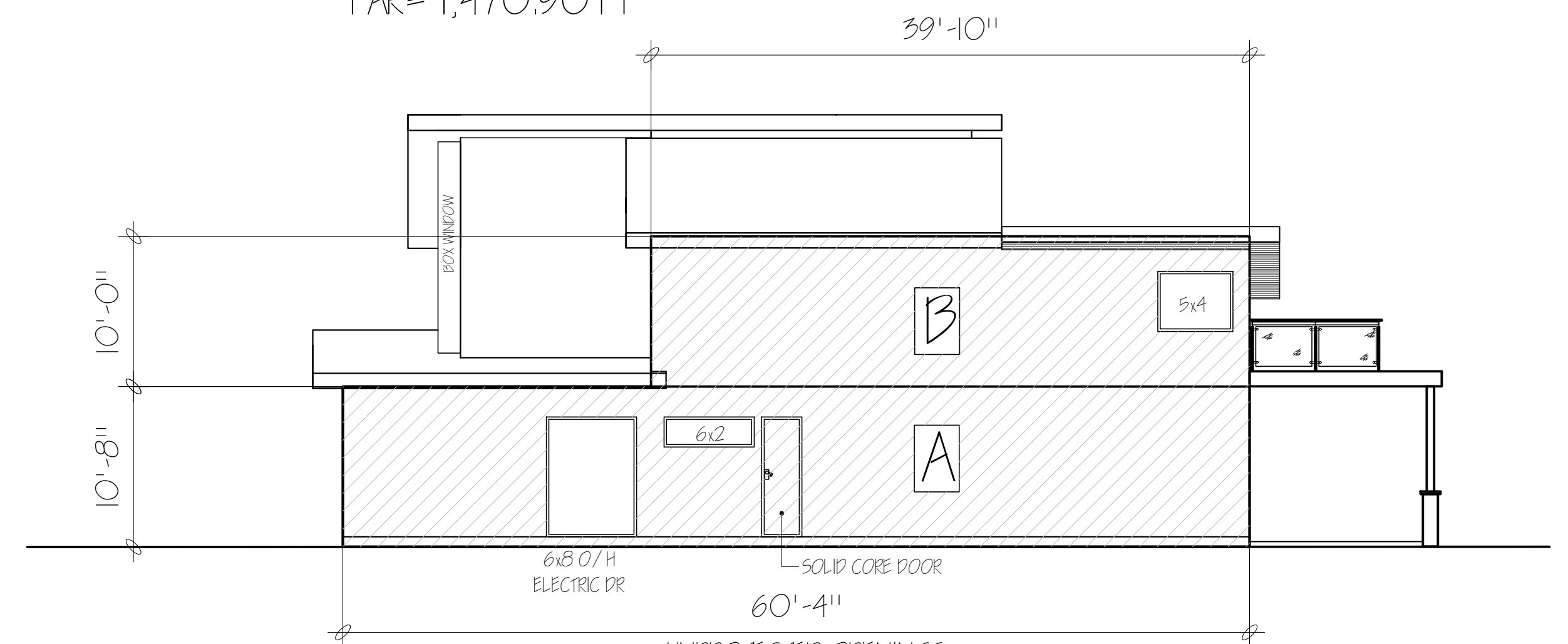


OVER-LAY ESTIMATE (TOP FLR)

$B1 = 39.83' \times 23.16' = 922.46 \text{ Ft}^2$
 $B2 = 25.5' \times 18.83' = 480.17 \text{ Ft}^2$
 $B3 = 4.16' \times 8.5' = 35.36 \text{ Ft}^2$
 $B4 = 4.83' \times 18.33' = 88.53 \text{ Ft}^2$
 $B5 = 3.67' \times 13' = 47.71 \text{ Ft}^2$
SUB TOTAL = 1,574.23 Ft²
LESS STAIR CREDIT = 103.33 Ft²
FAR = 1,470.90 Ft²

ACTUAL (TOP FLR) CALCULATION

BULK: 1,573.68 Ft²
LESS STAIRS/ FOYER: 103.33 Ft²
FAR: 1,470.35 Ft²



$A = 60.33' \times 10.66' = 643.12 \text{ Ft}^2$
 $B = 39.83' \times 10' = 398.30 \text{ Ft}^2$
WALL AREA = 1,041.42 Ft² (96.75M²)

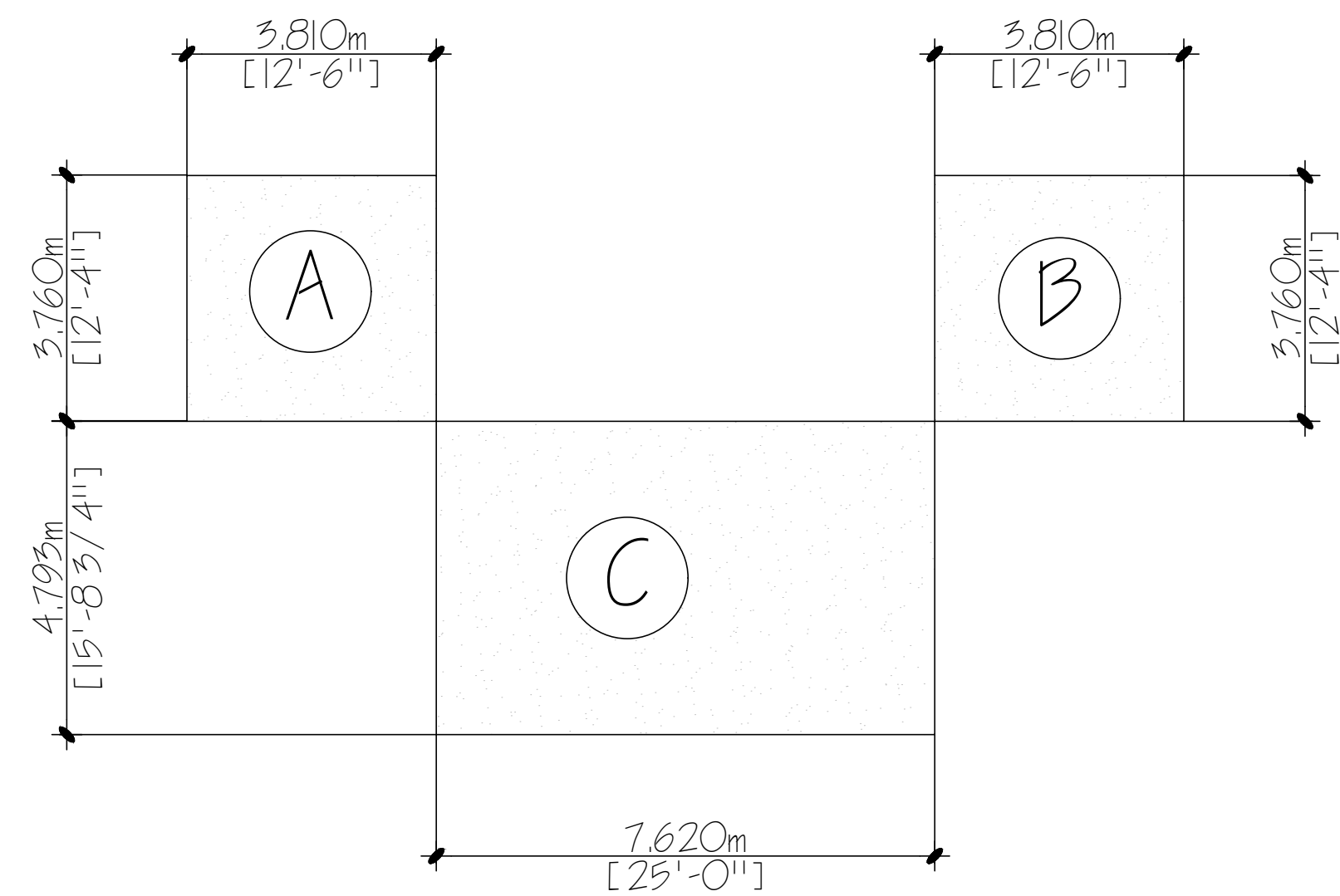
UNPROTECTED OPENINGS:

LIMITED DISTANCE : 9'-0" (2.74M)
 WALL AREA : 1,041.42 Ft² (96.75M²)
 PERMITTED OPENINGS : 93.73 Ft² @ 9%
 PROPOSED OPENINGS : 80 Ft²

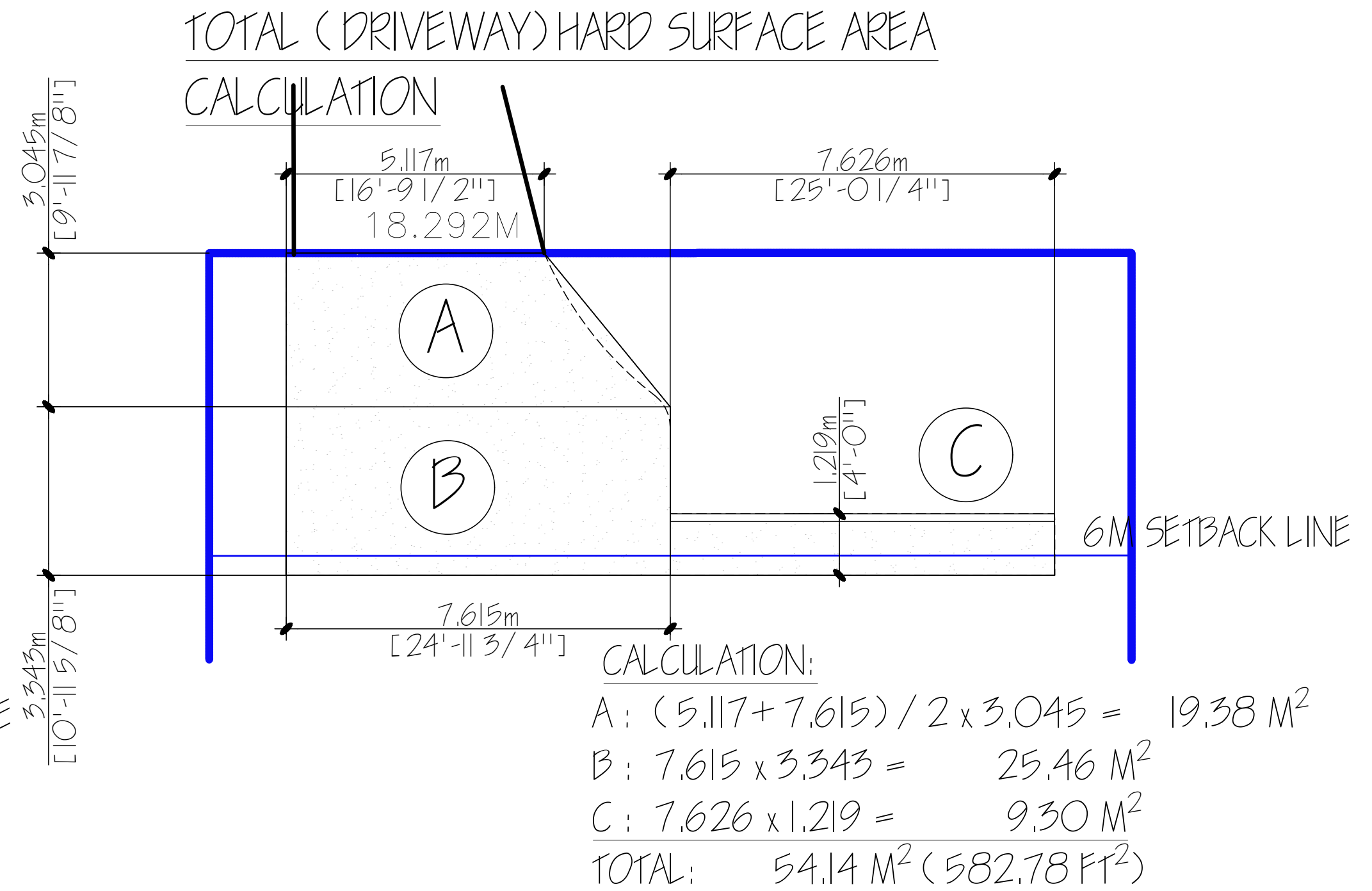
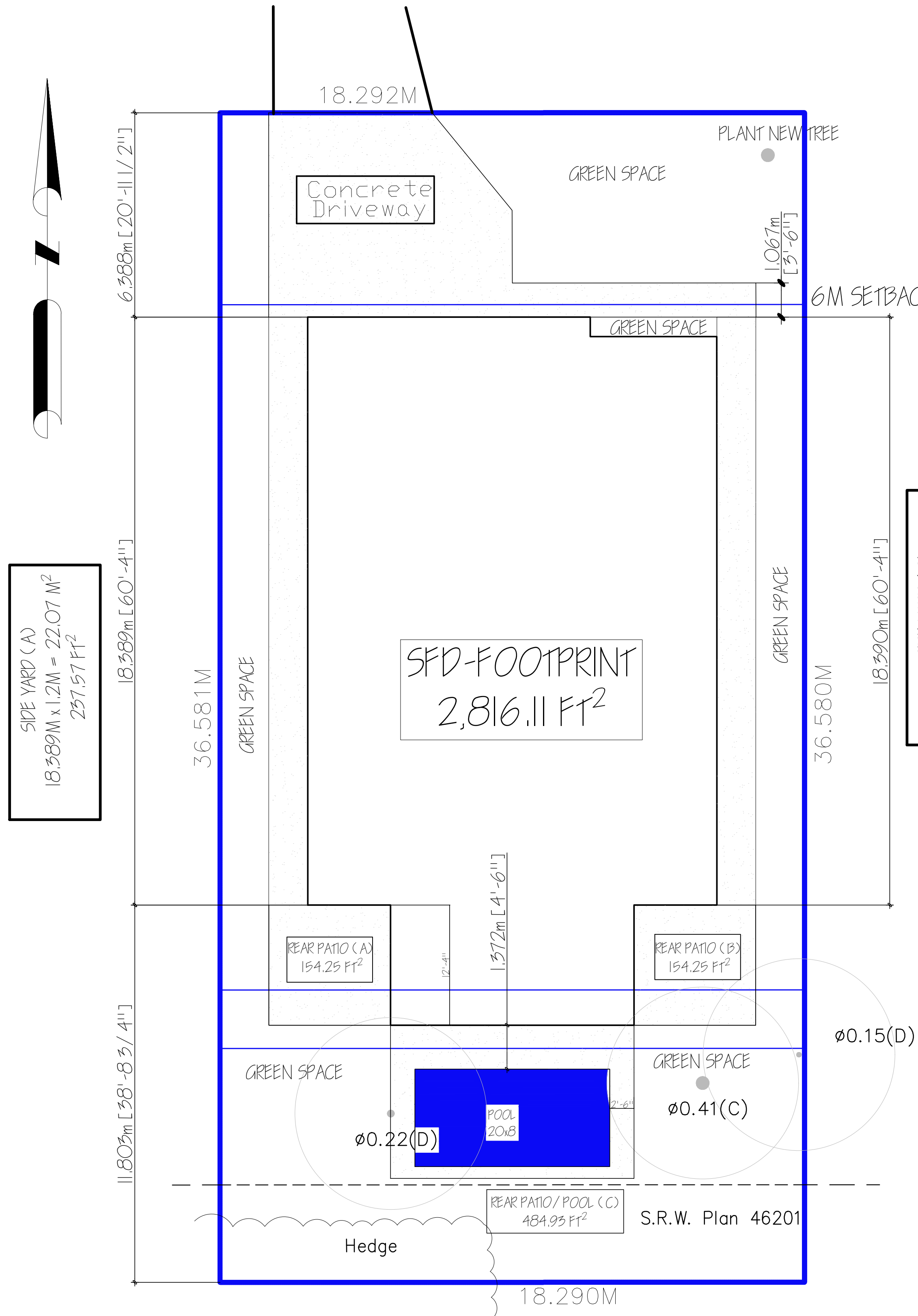
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PERMEABLE CALCULATION AREAS:
 LOT AREA : 7,202.37 FT² (669.10M²)
 LESS SFD FOOTPRINT: 2,816.11 FT²
 LESS DRIVEWAY / FRONT WALKWAY: 582.78 FT²
 LESS SIDE YARDS (A + B) : 475.14 FT²
 LESS OPEN REAR PATIOS / POOL (A + B + C): 701.61 FT²
 PERMEABLE AREAS : 2,626.73 FT²

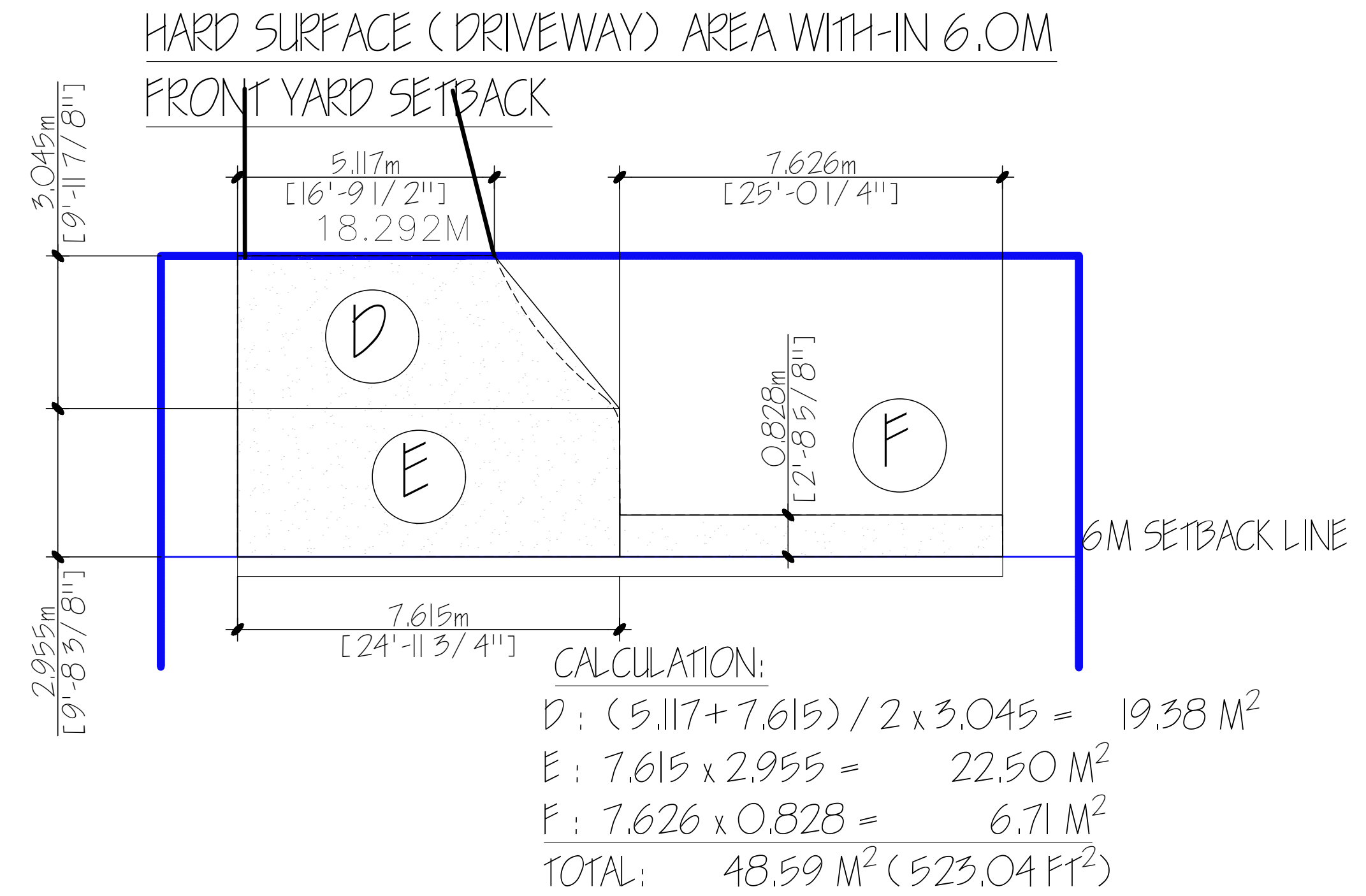
REQ'D PERMEABLE AREAS : 30 %
 PROPOSED PERMEABLE AREAS : 36.47 %



REAR PATIO'S CALCULATION:
 A: 3.81 x 3.76 = 14.33 M²
 B: 3.81 x 3.76 = 14.33 M²
 C: 7.62 x 4.79 = 36.52 M²
 TOTAL: 65.18 M² (701.61 FT²)



SIDE YARD (B)
 18.39M x 1.2M = 22.07 M²
 257.57 FT²



TOTAL DRIVEWAY / WALKWAY - 582.78 FT²
 DRIVEWAY WITHIN 6M SETBACK - 523.04 FT²

FRONT YARD LANDSCAPING REQUIREMENTS
 FRONTAGE AREA = VIA. COMPUTER (PROPERTY LINES SLIGHTLY ANGLED) = 6M x 18.292M = 109.752M² 1,181.40 FT²

REQUIRED LANDSCAPE AREA :
 55% x 1,181.40 FT² = 649.77 FT².

PROPOSED FRONT YARD LANDSCAPED AREA
 WITHIN 6M = LOT AREA 1,181.40 FT² LESS DRIVEWAY 523.04 FT²
 = LANDSCAPED AREA 658.36 FT² = 55.73%

LANDSCAPING OVERLAY
 SCALE 1/8" = 1'-0"

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