

Steveston Village Development Permit

A guide to obtaining a Development Permit in “Steveston Village”



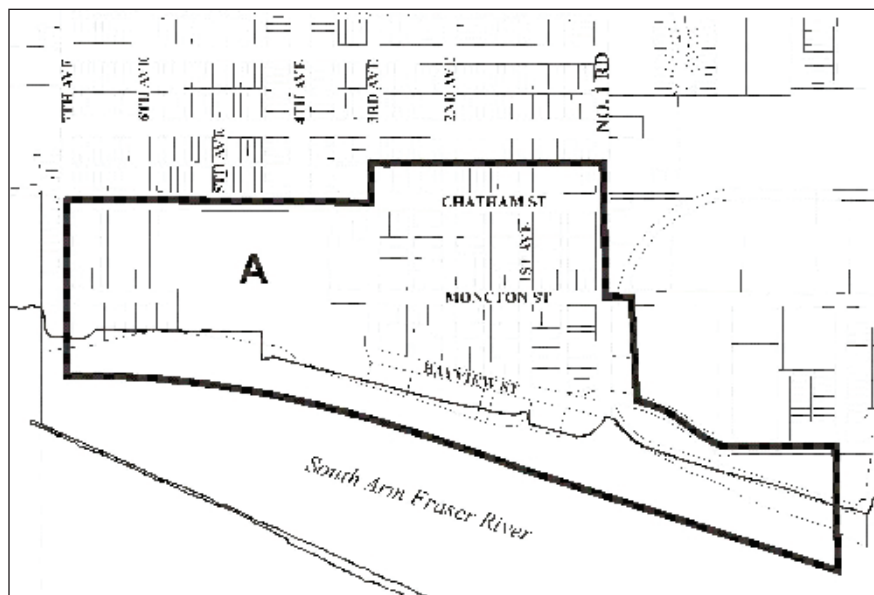
Development Permits

Under the Local Government Act, a municipality may designate Development Permit Areas in its Official Community Plan for one or more of the following purposes: protection of the natural environment; protection of development from hazardous conditions; protection of farming; revitalization of an area in which a commercial use is permitted; and, establishment of objectives for the form and character of intensive residential, commercial, industrial and multi-family development.

Typically, the Development Permit process will control the form and character of development (exterior design, landscaping, siting, building finishes and possibly colours) and can allow certain regulations in the Zoning Bylaw to be varied or supplemented to bring a proposal in line with the Development Permit Guidelines in the Official Community Plan.

On November 15, 2004, City Council amended the Official Community Plan to include “Enhanced Development Permit Guidelines” for the Steveston Area. The Development Permit Guidelines contained in the Steveston Area Plan

(Schedule 2.4 to Richmond Official Community Plan Bylaw No. 7100) are intended to enhance protection of the heritage and character defining elements in Steveston. The enhanced Development Permit Guidelines contained in the Steveston Area Plan require that a Development Permit application be submitted for all exterior renovations, regardless of construction value, within the area identified as “Steveston Village” (See Map).



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Relevant Guidelines and Reference Documents

All Development Permit applications are subject to compliance with the Richmond Official Community Plan. Development Permit applications in Steveston Village are subject to the General Development Permit Guidelines contained in Schedule 1 of the Official Community Plan (Web link: http://www.richmond.ca/__shared/assets/9_development_c546.pdf). The area specific guidelines contained in the Steveston Area Plan (*Schedule 2.4 to Official Community Plan Bylaw No. 7100*). (Web link: http://www.richmond.ca/__shared/assets/steveston566.pdf)

- The General Development Permit guidelines for all Development Permit areas in the City are contained in Section 9.0 of Schedule 1 of the Official Community Plan.
- The “General Development Permit Guidelines” for the Steveston Area are contained in Section 8.0 of the Steveston Area Plan. These guidelines provide general information and principals for dealing with neighbourhood identity, heritage features, and general form and character provisions.
- Section 8.3.1 of the Steveston Area Plan provides design guidelines specific to Steveston Village on a street-by-street basis.

These guidelines are used concurrently by staff to review the form and character of proposed developments. When there are conflicts or inconsistencies, staff attempts to enforce the more stringent requirements.

In addition, Council has adopted the Sakamoto Guidelines (Attachment 1 of the Planning Committee report (Web link: http://www.richmond.ca/__shared/assets/100504_item68985.pdf)) as reference material to deal with “restoration of buildings with significant heritage merits identified in the City’s on line inventory.”

Applicants are advised to consult the above-noted documents available on the City Website prior to applying for a Development Permit. Hard copies of these documents can also be purchased at City Hall.

Heritage Advisory Committee

In addition to an internal review by staff, all Development Applications (renovations and new developments) within the Steveston Village are referred to the Richmond Heritage Commission, comprised of Council appointed area residents and heritage experts, to review the compatibility of the proposals with respect to the existing heritage context and character defining elements within Steveston Village.

Advisory Design Panel

Development Permits for significant work or new commercial or mixed-use developments are also referred to the Advisory Design Panel, comprised of Council appointed design professionals, industry representatives and community representatives, for further design review.

Development Permit Process

For further information on Development Permits and the Development Permit process please refer to Information Brochure DA-29 *Development Permit – A Guide to Obtaining a Development Permit in Richmond*.

*This brochure is intended to be used in conjunction with our other informational brochures and helpful handouts such as: **Subdivision; Development Permit; Rezoning Sign Information; etc.***

It is not a legal Fast Tracking document. Any contradiction, dispute or difference between the contents of this brochure and applicable City bylaws, plans, policies or guidelines will be resolved by reference to the bylaws or other official documents. You should always refer to the official copies of the Official Community Plan, Zoning Bylaw and other formal municipal documents if you are unsure of any procedure or requirements.

