

## 1.0 OVERVIEW

### 1.1 VISION

Consistent with the principles of transit-oriented development, which is a fundamental design principle for the redevelopment of Lansdowne Centre, redevelopment will include 'Mobility Hubs'. The multi-modal transportation hubs will integrate everything from transit stops for rail and bus, to bike and car share services. They will also act as community amenity areas.

The City of Richmond OCP includes three classes of mobility hubs, each with varying distances to a Canada Line Station – 'Regional', 'City', and 'Neighbourhood'. 'City' and 'Neighbourhood' hubs are located on the Lansdowne Site.

### 1.2 PROPOSED LOCATIONS

The masterplan at the right shows the proposed location and type of the two on-site mobility hubs. The 'City' hub is proposed within Parcel 1B and is in close proximity to Lansdowne Canada Line Station. It will also link to "kiss & ride" facilities. The 'Neighbourhood' hub is proposed within proximity of the bus network along Cooney Road and the greenway connections to Centre Park.

Both hubs are part of a network of services. These hubs are intended to be adaptable to support 'future proofing' for evolving mobility technologies.

This document intends to propose uses that can be adapted as needed in response to future transportation trends.

The locations for the two proposed mobility hubs are indicated in the plan:

**'CITY SCALE' MOBILITY HUB**  
 Geared towards access and linkages to the broader city.

**'NEIGHBOURHOOD SCALE' MOBILITY HUB**  
 Facilitates connections within the neighbourhood and smaller scale programs.

## 2.0 'CITY SCALE' HUB

### 2.1 PROGRAMS & LOCATION

The 'City Scale' Hub will include elements for users looking to access the site, Canada Line, and city beyond. Integrated into Parcel 1B, its functions will be located abutting the Civic Plaza on private property, and include above and below ground elements. Among its functions, this hub will include provisions for car based users who can drop riders at the Canada Line, with direct access to above ground features.

Integrated into this zone will be numerous amenities including bike shares above ground and car shares below. The 'Kiss & Ride' is imagined to be much more than just a drop off - with a diversity of adjacent cafe and retail spaces to serve it. By providing the 'City Hub' in a prominent location, it will generate activity in both the retail sphere and public realm. The sketch opposite shows a conceptual design for the 'City' hub, including routes to the Lansdowne Station.

NOTE: SKETCHES ARE CONCEPTUAL ONLY AND FINAL LAYOUT AND PROGRAM SELECTION WILL BE DETERMINED DURING SUBSEQUENT DETAILED SITE DESIGN STAGES



Broad Public Realm adjacent to 'Kiss & Ride' Zones  
Source: KX/DG

#### FEATURES (STREET LEVEL)

- 1 KISS & RIDE (MIN. 5 STALLS)
- 2 CYCLE RACKS, LOCKERS, & REPAIR
- 3 CYCLE SHARE SPACES (MIN. 15)
- 4 FEATURE LIGHTING & SEATING OPTIONS
- 5 WEATHER COVERINGS AT BUILDING
- 6 WAYFINDING SIGNAGE
- 7 RETAIL AMENITIES
- 8 HANDYDART PICK UP / DROP-OFF
- 9 SERVICE VEHICLE ACCESS/PARKING (MIN. 3)
- 10 PEDESTRIAN/CYCLIST PARADE ACCESS
- 11 ENHANCED PEDESTRIAN CONNECTION



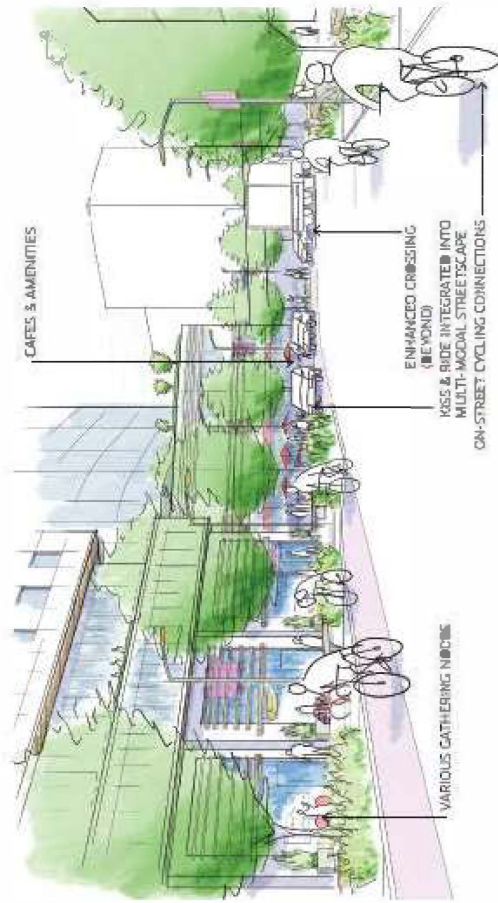
Cycle Routes & Share Spaces Adjacent to Cafe and Retail  
Source: TheBicycle



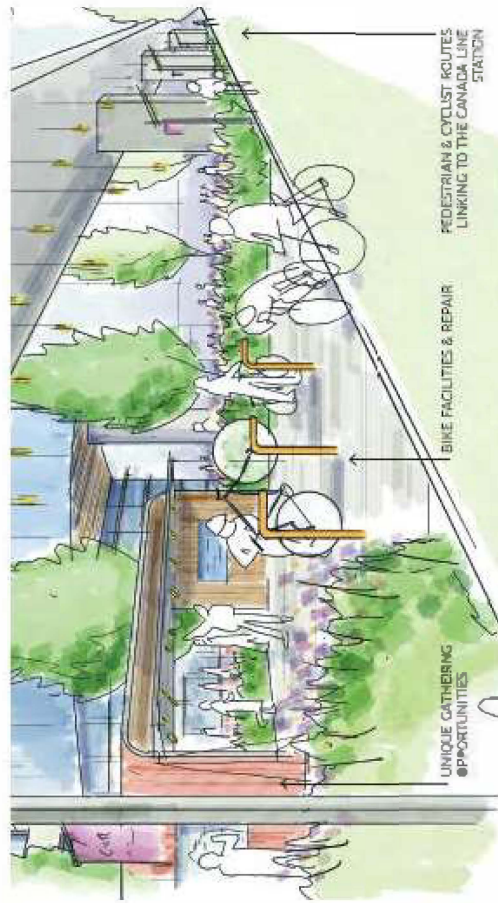


FEATURES (PARKADE LEVELS)

- 1 TAXI PICK-UP / DROP-OFF (MIN. 5 STALLS)
- 2 CAR SHARE SPACES (MIN. 10)
- 3 EV PLUG-IN SPACES (MIN. 5)
- 4 ACCESSIBLE SPACES (MIN. 10)
- 5 DESIGN TO ORIENT USERS TO HUB ACCESS
- 6 CYCLE RACKS & LOCKERS
- 7 VARIOUS SEATING OPTIONS
- 8 WAYFINDING SIGNAGE
- 9 PED/CYCLIST ABOVEGROUND ACCESS
- 10 FEATURE LIGHTING



The "Kiss & Ride" looking West, along the new East/West Street, will be a vibrant streetscape with cycling options, cafes, and various user amenities.



Opportunities exist to creatively extend any mobility hub programs into adjacent spaces, such as under the Canada Line guideway, and should continue to be explored in future phases.

### 3.0 'NEIGHBOURHOOD SCALE' HUB

#### 3.1 PROGRAMS & LOCATION

The 'Neighbourhood Scale' Hub is imagined to be a more localized mobility hub, focused on connecting users of the park and residential developments to nearby cycle and bus networks. This hub will generally be located to the North of the Centre Park & Event Space, and tie into Cooney Road and the North/South Greenway.

This hub will provide many more 'micro-mobility' options, as well as seating nodes and gathering spaces for residents. Users will be able to rent a bike (or repair their own); catch a taxi, shuttle, or ride share; or settle in for an afternoon. This will also be a key hub during larger park events, easing the strain on the Canada Line by allowing people to cycle, walk, or bus to any large festivals. In this way, the Neighbourhood Hub will act as a complement to the larger City Hub, both allowing for numerous ways to get to the Lansdowne development.

NOTE: SKETCHES ARE CONCEPTUAL ONLY, AND FINAL LAYOUT AND PROGRAM SELECTION WILL BE DETERMINED DURING SUBSEQUENT DETAILED SITE DESIGN STAGES.

#### FEATURES

- 1 CYCLE PATHS & AMENITIES (RACKS, REPAIR)
- 2 CYCLE SHARE SPACES (MIN. 15)
- 3 VARIOUS SEATING OPTIONS
- 4 WEATHER PROTECTION & WAYFINDING
- 5 PARKING W/ EV PLUG-IN SPACES
- 6 SHUTTLE/HANDYDART PICK-UP / DROP-OFF
- 7 TAXI PICK-UP / DROP-OFF (MIN. 5 STALLS)
- 8 FEATURE LIGHTING
- 9 VARIOUS AMENITIES (WATER, POWER, ETC.)
- 10 ACCESS TO BUS STOPS ON COONEY
- 11 ENHANCED PEDESTRIAN CONNECTION



Links to Buses on Cooney and Shuttle Services  
Source: Chris McCormack



Additional Unique Gathering Places for Visitors & Residents  
Source: Marnie Lenz/Neil

## 4.0 INTERIM MOBILITY HUB

### 4.1 PROGRAMS & LOCATION

During the initial phases of the Lansdowne development, new residents will be sharing the site with the existing visitors to the mall. This heightened use will help to energize the area, and to capitalize on this energy, an interim mobility hub is proposed. Starting in Phase 1, this interim hub would begin layering in elements close to the final 'City' location, and will provide mode-shifting and amenity options adjacent to the Lansdowne Canada Line Station.

Imagined as a reworking of existing parking, this zone will provide many of the micro-mobility options the final hub will deliver on. Cycle spaces and sharing, taxi pick-up and drop-off, and car share will all be included. Weather protected seating options, wayfinding signage, and a suite of other community improvements are also possible. Pictured at right is a concept for the 'Interim City' hub, showing linkages to and from the Canada Line station. During the construction of Parcel 1B, these interim uses are proposed to be maintained in existing, adjacent private property locations.

NOTE: SKETCHES ARE CONCEPTUAL ONLY, AND FINAL LAYOUT AND PROGRAM SELECTION WILL BE DETERMINED DURING SUBSEQUENT DETAILED SITE DESIGN STAGES.



Weather Protected Shelter for Waiting Users  
Source: DP Architects (DPA)

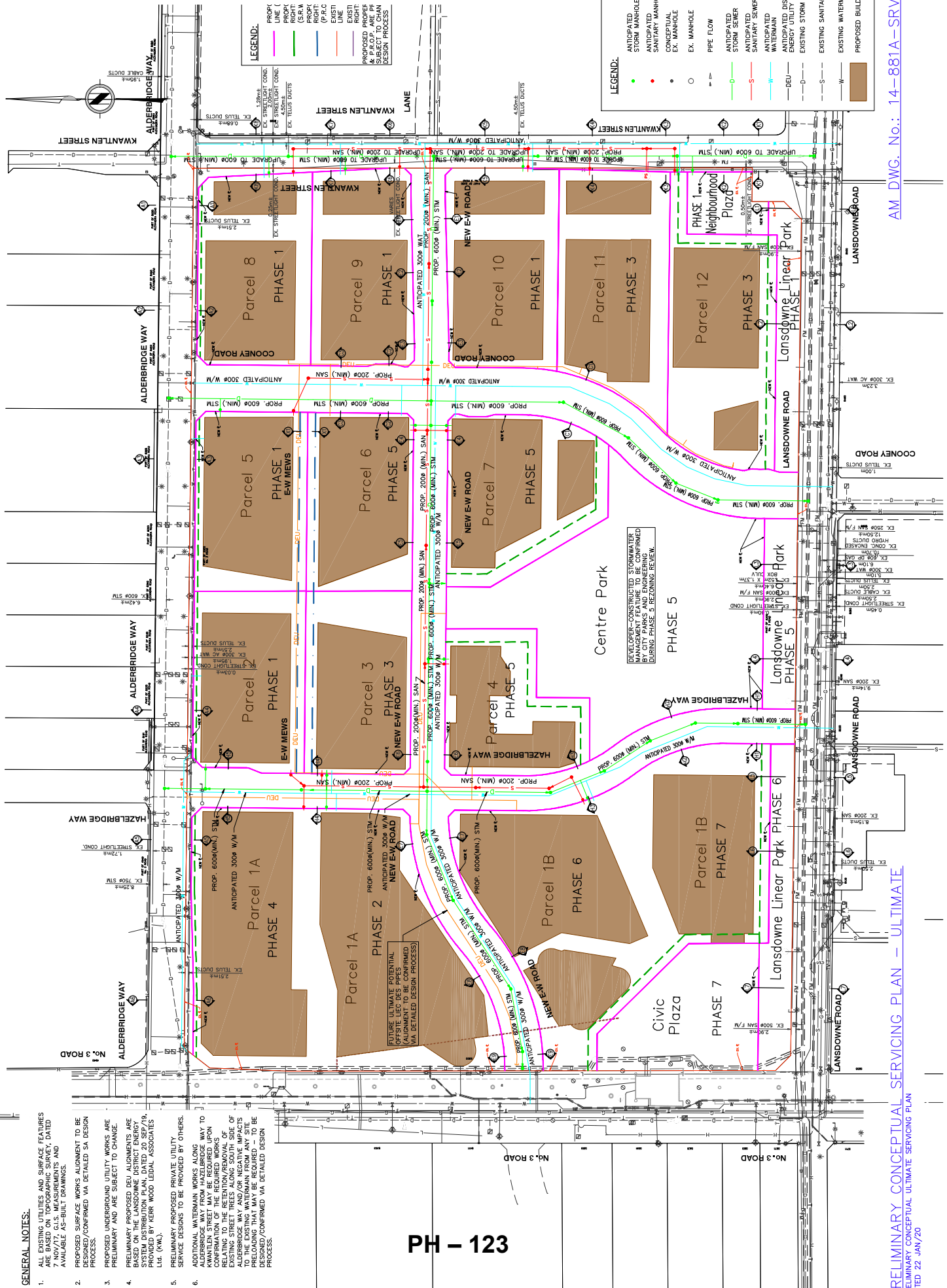


Green Spaces / Amenities in Proximity to Regional Transit  
Source: Sam Oberster



- FEATURES**
- 1 SHUTTLE/HANDYDART LAY-BY/PICK-UP
  - 2 ACCESSIBLE SPACES\*
  - 3 EV PLUG-IN SPACES/CAR SHARE SPACES\*
  - 4 KISS & RIDE
  - 5 CYCLE AMENITIES/SHARE SPACES (MIN. 15)\*
  - 6 VARIOUS SEATING OPTIONS\*
  - 7 WEATHER PROTECTED SHELTER
  - 8 WAYFINDING SIGNAGE
  - 9 TAXI PICK-UP / DROP-OFF (MIN. 5 STALLS)\*
  - 10 SERVICE VEHICLE ACCESS/PARKING\*
  - 11 ENHANCED CONNECTIONS TO PHASE 1\*

\* - DETAILS ELEMENTS PROPOSED IN PHASE 1, REMAINDER IN PHASE 2. LEGEND LAYOUT TO BE FINALIZED IN CONSULTATION WITH REGULATORY AGENCIES.



**LEGEND:**

- PROPOSED LINE ( )
- PROPOSED RIGHT-OF-WAY ( )
- EXISTING LINE ( )
- EXISTING RIGHT-OF-WAY ( )
- EXISTING SANITARY SEWER ( )
- EXISTING WATERMAIN ( )
- EXISTING STORM SEWER ( )
- EXISTING PIPE FLOW ( )
- EXISTING MANHOLE ( )
- EXISTING CONCEPTUAL EX. MANHOLE ( )
- EXISTING EX. MANHOLE ( )
- EXISTING PIPE FLOW ( )
- EXISTING STORM SEWER ( )
- EXISTING SANITARY SEWER ( )
- EXISTING WATERMAIN ( )
- EXISTING DISTRICT ANTICIPATED DISTRICT ANTICIPATED STORM SEWER ( )
- EXISTING DISTRICT ANTICIPATED DISTRICT ANTICIPATED SANITARY SEWER ( )
- EXISTING DISTRICT ANTICIPATED DISTRICT ANTICIPATED WATERMAIN ( )
- EXISTING DISTRICT ANTICIPATED DISTRICT ANTICIPATED EXISTING STORM SEWER ( )
- EXISTING DISTRICT ANTICIPATED DISTRICT ANTICIPATED EXISTING SANITARY SEWER ( )
- EXISTING DISTRICT ANTICIPATED DISTRICT ANTICIPATED EXISTING WATERMAIN ( )
- EXISTING DISTRICT ANTICIPATED DISTRICT ANTICIPATED PROPOSED BUILDING ( )

**LEGEND:**

- ANTICIPATED STORM MANHOLE ( )
- ANTICIPATED SANITARY MANHOLE ( )
- ANTICIPATED WATER MAIN MANHOLE ( )
- CONCEPTUAL EX. MANHOLE ( )
- EX. MANHOLE ( )
- PIPE FLOW ( )
- ANTICIPATED STORM SEWER ( )
- ANTICIPATED SANITARY SEWER ( )
- ANTICIPATED WATERMAIN ( )
- ANTICIPATED DISTRICT ANTICIPATED DISTRICT ANTICIPATED STORM SEWER ( )
- ANTICIPATED DISTRICT ANTICIPATED DISTRICT ANTICIPATED SANITARY SEWER ( )
- ANTICIPATED DISTRICT ANTICIPATED DISTRICT ANTICIPATED WATERMAIN ( )
- EXISTING STORM SEWER ( )
- EXISTING SANITARY SEWER ( )
- EXISTING WATERMAIN ( )
- PROPOSED BUILDING ( )

- GENERAL NOTES:**
1. ALL EXISTING UTILITIES AND SURFACE FEATURES ARE BASED ON TOPOGRAPHIC SURVEY, DATED 7 NOV/17, C.I.S. MEASUREMENTS AND AVAILABLE AS-BUILT DRAWINGS.
  2. PROPOSED SURFACE WORKS ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
  3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
  4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANSDOWNE DISTRICT ENERGY PLAN, DATED 2018, AND ARE SUBJECT TO CHANGE, PROVIDED BY KER WOOD LEGAL ASSOCIATES, L.L.C. (K.W.).
  5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
  6. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON REVIEW OF THE RETENTION/REMOVAL OF EXISTING STREET TREES ALONG SOUTH SIDE OF ALDERBRIDGE WAY. ANY ADDITIONAL WORKS TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

DEVELOPER-CONSTRUCTED STORMWATER INFRASTRUCTURE TO BE CONFIRMED BY CITY PARKS AND RECREATION DURING PHASE 5 REZONING REVIEW.

PH - 123

AM DWG. No.: 14-881A-SRV-ULT

PRELIMINARY CONCEPTUAL SERVING PLAN - ULTIMATE  
PRELIMINARY CONCEPTUAL ULTIMATE SERVING PLAN  
DATED 22 JAN/20

**GENERAL NOTES:**

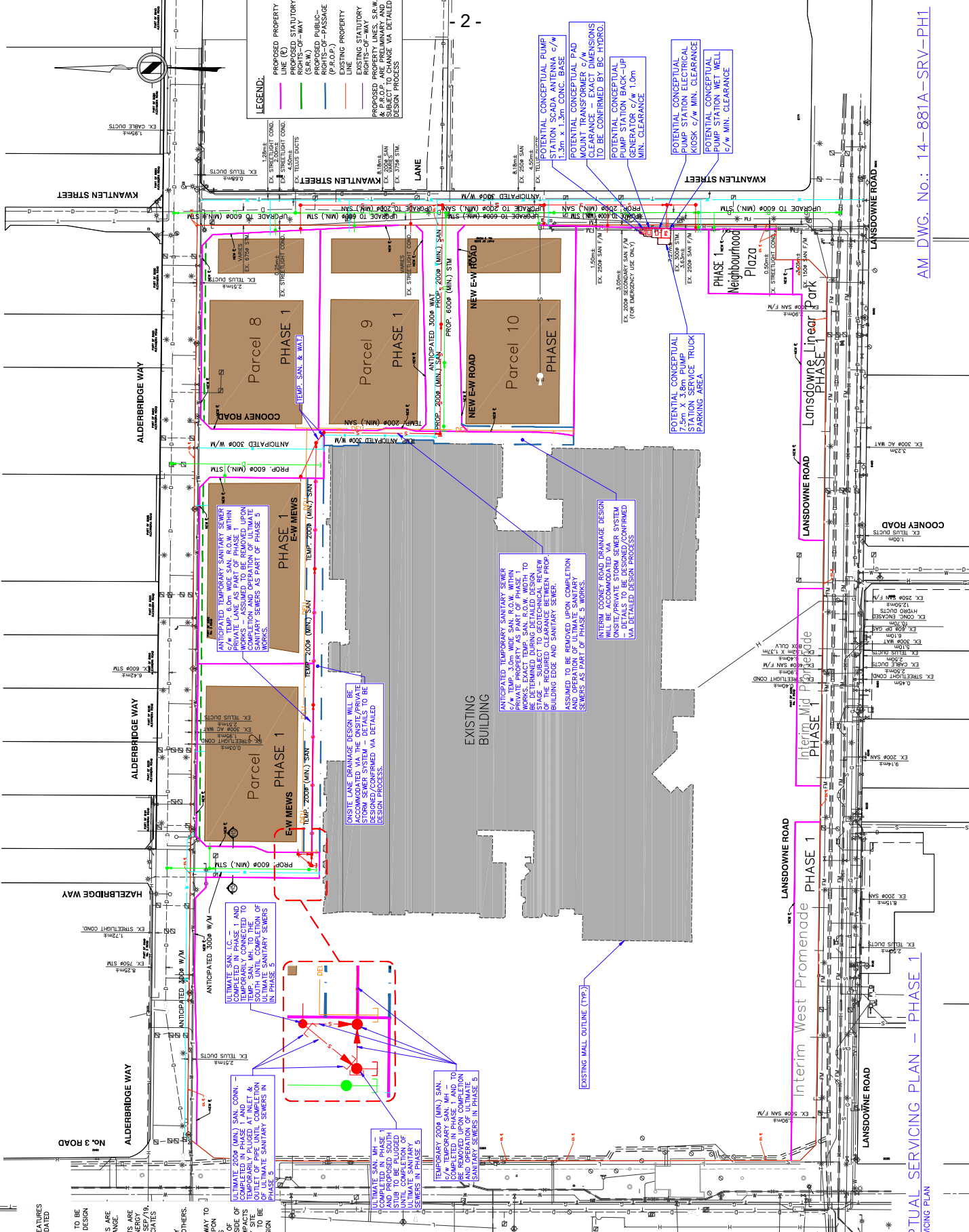
1. ALL EXISTING UTILITIES AND SURFACE FEATURES ARE BASED ON TOPOGRAPHIC SURVEY, DATED 7 NOV/17. C.I.S. MEASUREMENTS AND AVAILABLE AS-BUILT DRAWINGS.
2. PROPOSED SURFACE ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANSWOWNE DISTRICT ENERGY PLAN (2016-2030) AND ARE SUBJECT TO REVIEW PROVIDED BY KEIR WOOD LEGAL ASSOCIATES Lt. (K/W).
5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
6. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON RELATING TO THE RETENTION/REMOVAL OF EXISTING STREET TREES ALONG SOUTH SIDE OF ALDERBRIDGE WAY. THE DESIGN OF THESE TREES TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

**PH - 124**

**LEGEND:**

- ANTICIPATED STORM MANHOLE
- ANTICIPATED SANITARY MANHOLE
- CONCEPTUAL EX. MANHOLE
- EX. MANHOLE
- PIPE FLOW
- ANTICIPATED STORM SEWER
- ANTICIPATED SANITARY SEWER
- ANTICIPATED DISTRICT DEU
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING BUILDING
- PROPOSED BUILDING

EX. ON-SITE SERVICES: DECOMMISSIONING & EMBANKING WORKS C/A FIRE HYDRANT RELOCATION/INSTALLATION WILL BE REQUIRED FOR THE PROPOSED DEVELOPMENT. MECHANICAL AND CODE CONSULTANT REVIEW/DESIGN, (TO BE DESIGNED/CONFIRMED DURING DETAILED DESIGN PROCESS)



AM DWG. No.: 14-881A-SRV-PH1

PRELIMINARY CONCEPTUAL PHASE 1 SERVICING PLAN  
 DATED 22 JAN/20

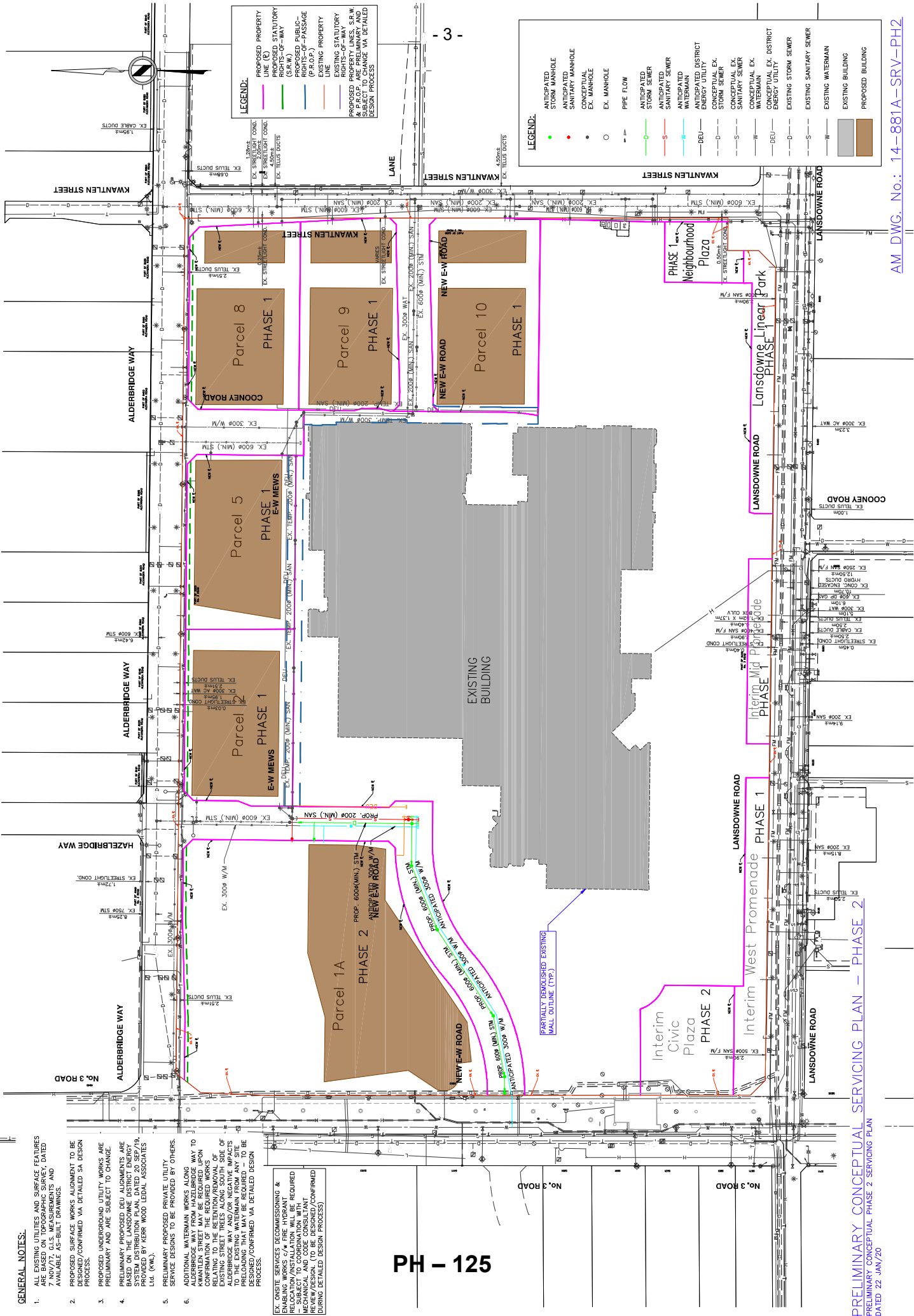


**GENERAL NOTES:**

1. ALL EXISTING UTILITIES AND SURFACE FEATURES ARE BASED ON TOPOGRAPHIC SURVEY, DATED 7 NOV/17. C.I.S. MEASUREMENTS AND AVAILABLE AS-BUILT DRAWINGS.
2. PROPOSED SURFACE WORKS ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
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5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
6. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON REVIEW OF THE RETENTION/REMOVAL OF EXISTING STREET TREES ALONG SOUTH SIDE OF ALDERBRIDGE WAY. ALL TREE REMOVALS TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

EX. ON-SITE SERVICES DECOMMISSIONING & ENABLING WORKS C/A FIRE HYDRANT RELOCATION/INSTALLATION WILL BE REQUIRED UPON REVIEW/REVISION. (TO BE DESIGNED/CONFIRMED DURING DETAILED DESIGN PROCESS)

**PH - 125**



**LEGEND:**

- PROPOSED PROPERTY LINE (R)
- PROPOSED STATUTORY RIGHTS-OF-WAY
- PROPOSED PUBLIC RIGHTS-OF-PASSAGE (P.R.O.P.)
- EXISTING PROPERTY LINE
- EXISTING STATUTORY RIGHTS-OF-WAY
- PROPOSED STATUTORY RIGHTS-OF-WAY & P.R.O.P. ARE PRELIMINARY AND SUBJECT TO CHANGE VIA DETAILED DESIGN PROCESS

**LEGEND:**

- ANTICIPATED EX. MANHOLE
- ANTICIPATED EX. SANITARY MANHOLE
- CONCEPTUAL EX. MANHOLE
- EX. MANHOLE
- PIPE FLOW
- ANTICIPATED EX. STORM SEWER
- ANTICIPATED EX. SANITARY SEWER
- ANTICIPATED WATERMAIN
- ANTICIPATED ENERGY UTILITY
- CONCEPTUAL EX. STORM SEWER
- CONCEPTUAL EX. SANITARY SEWER
- CONCEPTUAL EX. WATERMAIN
- EX. EX. DISTRICT ENERGY UTILITY
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING BUILDING
- PROPOSED BUILDING

**GENERAL NOTES:**

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3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANDSDOWNE DISTRICT ENERGY PLAN, 2016. ALL DEU ALIGNMENTS ARE PROVIDED BY KEER WOOD LEGAL ASSOCIATES, L.L.C. (K.W.).
5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
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EX. ON-SITE SERVICES DECOMMISSIONING & REMOVAL WORKS SHALL BE AS REQUIRED BY REGULATORY AGENCIES AND ARE SUBJECT TO REQUIRED PERMITS AND COORDINATION WITH MECHANICAL AND CODE CONSULTANT DURING DETAILED DESIGN PROCESS.

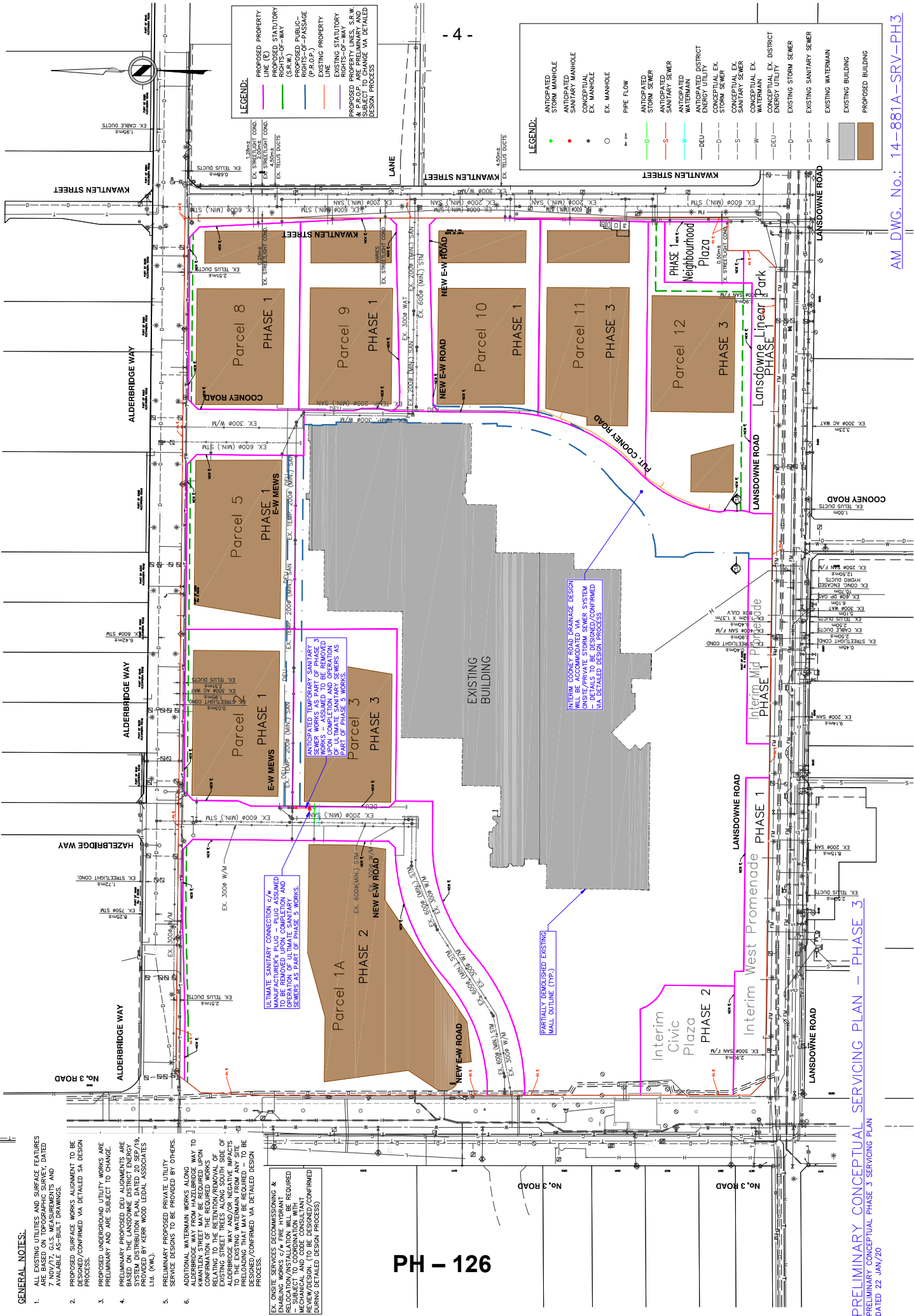
ULTIMATE SANITARY CONNECTION 2" IN MANUFACTURER'S PLUG - PLUG ASSUMED TO BE REMOVED UPON COMPLETION AND SEWERS AS PART OF PHASE 5 WORKS.

ANTICIPATED TEMPORARY SANITARY SEWER WORKS AS PART OF PHASE 3 WORKS ASSUMED TO BE REMOVED UPON COMPLETION OF ULTIMATE SANITARY SEWERS AS PART OF PHASE 5 WORKS.

INTERIM COONEY ROAD DRAINAGE DESIGN WILL BE ACCOMMODATED VIA SANITARY SYSTEM - DETAILS TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

PARTIALLY DEREGULATED EXISTING WALL OUTLINE (TYP.)

**PH - 126**



PRELIMINARY CONCEPTUAL PHASE 3 SERVICING PLAN  
DATED 22 JAN/20

AM DWG. No.: 14-881A-SRV-PH3

**GENERAL NOTES:**

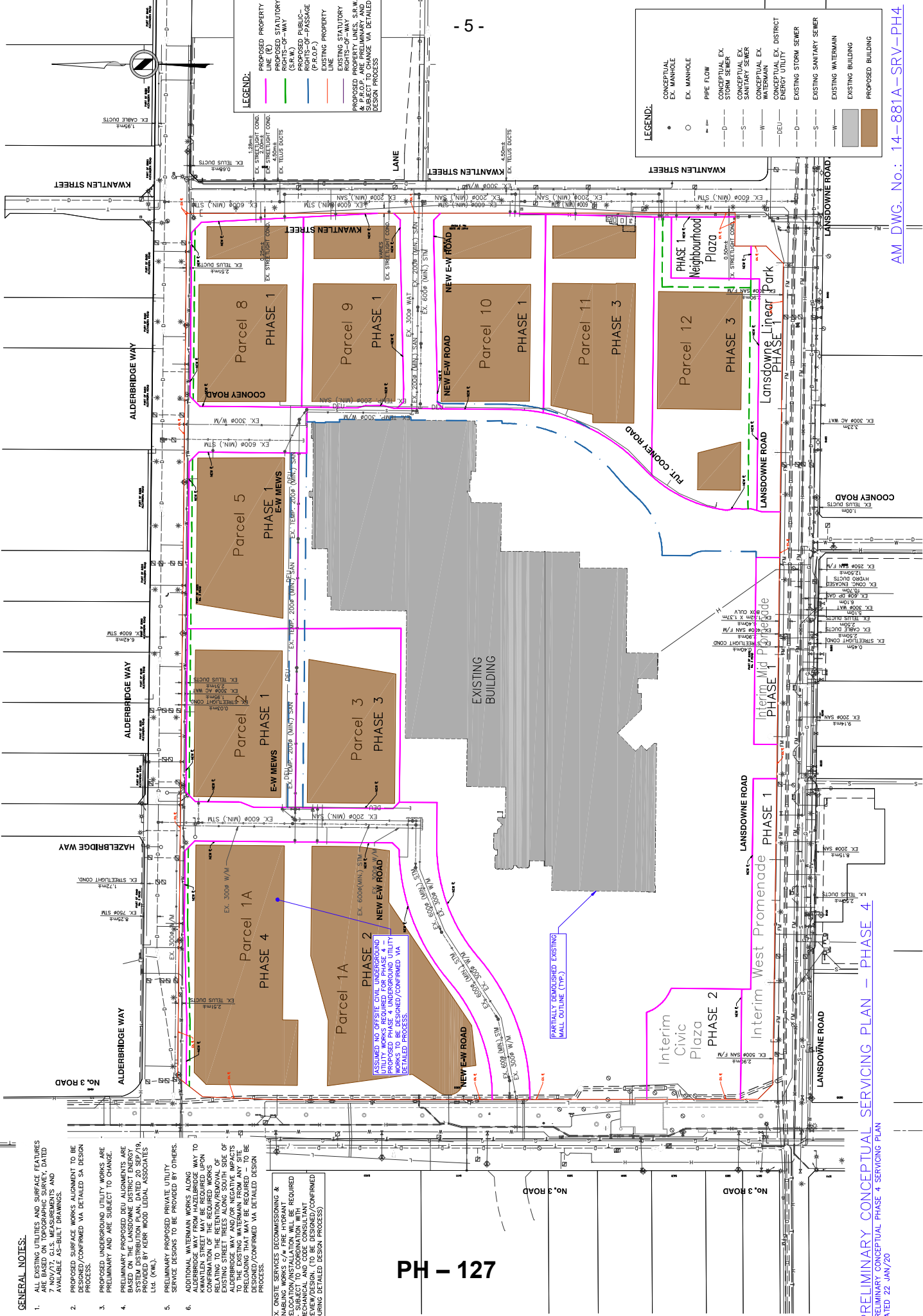
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2. PROPOSED SURFACE ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANSWOWNE DISTRICT ENERGY PLAN (2016) AND THE SA DESIGN PROCESS PROVIDED BY KER WOOD LEGAL ASSOCIATES LtG. (KW).
5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
6. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON REVIEW OF THE RETENTION/REMOVAL OF EXISTING STREET TREES ALONG SOUTH SIDE OF ALDERBRIDGE WAY. ANY SUCH WORKS TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

EX ON-SITE SERVICES DECOMMISSIONING & RELOCATION WORKS (I/A) ARE WHERE REQUIRED - SUBJECT TO COORDINATION WITH MECHANICALS AND CODE CONSULTANT DURING DETAILED DESIGN PROCESS.

NOTED: NO OFF-SITE UNDERGROUND UTILITY WORKS TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

PARTIALLY DEMOLISHED EXISTING WALL OUTLINE (TYP.)

**PH - 127**



**LEGEND:**

- PROPOSED PROPERTY LINE (P)
- PROPOSED STATUTORY RIGHTS-OF-WAY (S)
- PROPOSED PUBLIC RIGHTS-OF-PASSAGE (P.R.O.P.)
- EXISTING PROPERTY LINE (E)
- EXISTING STATUTORY RIGHTS-OF-WAY (S)
- PROPOSED UNDERGROUND UTILITY WORKS TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS

**LEGEND:**

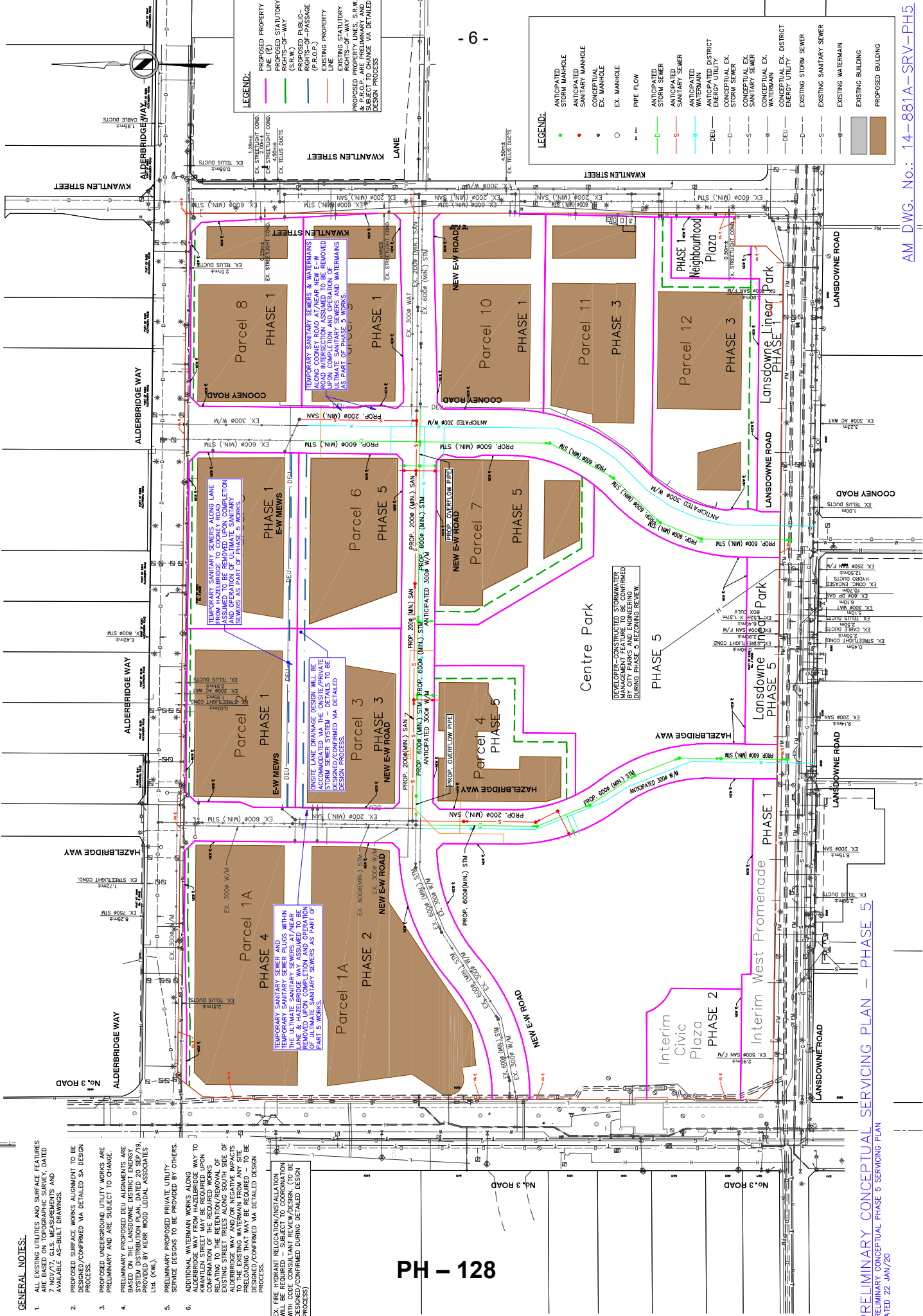
- CONCEPTUAL EX. MANHOLE (M)
- EX. MANHOLE (M)
- PIPE FLOW (F)
- CONCEPTUAL EX. STORM SEWER (SS)
- CONCEPTUAL EX. SANITARY SEWER (SS)
- CONCEPTUAL EX. WATERMAIN (W)
- EX. DISTRICT WATERMAIN (W)
- EXISTING STORM SEWER (SS)
- EXISTING SANITARY SEWER (SS)
- EXISTING WATERMAIN (W)
- EXISTING BUILDING (B)
- PROPOSED BUILDING (B)

**GENERAL NOTES:**

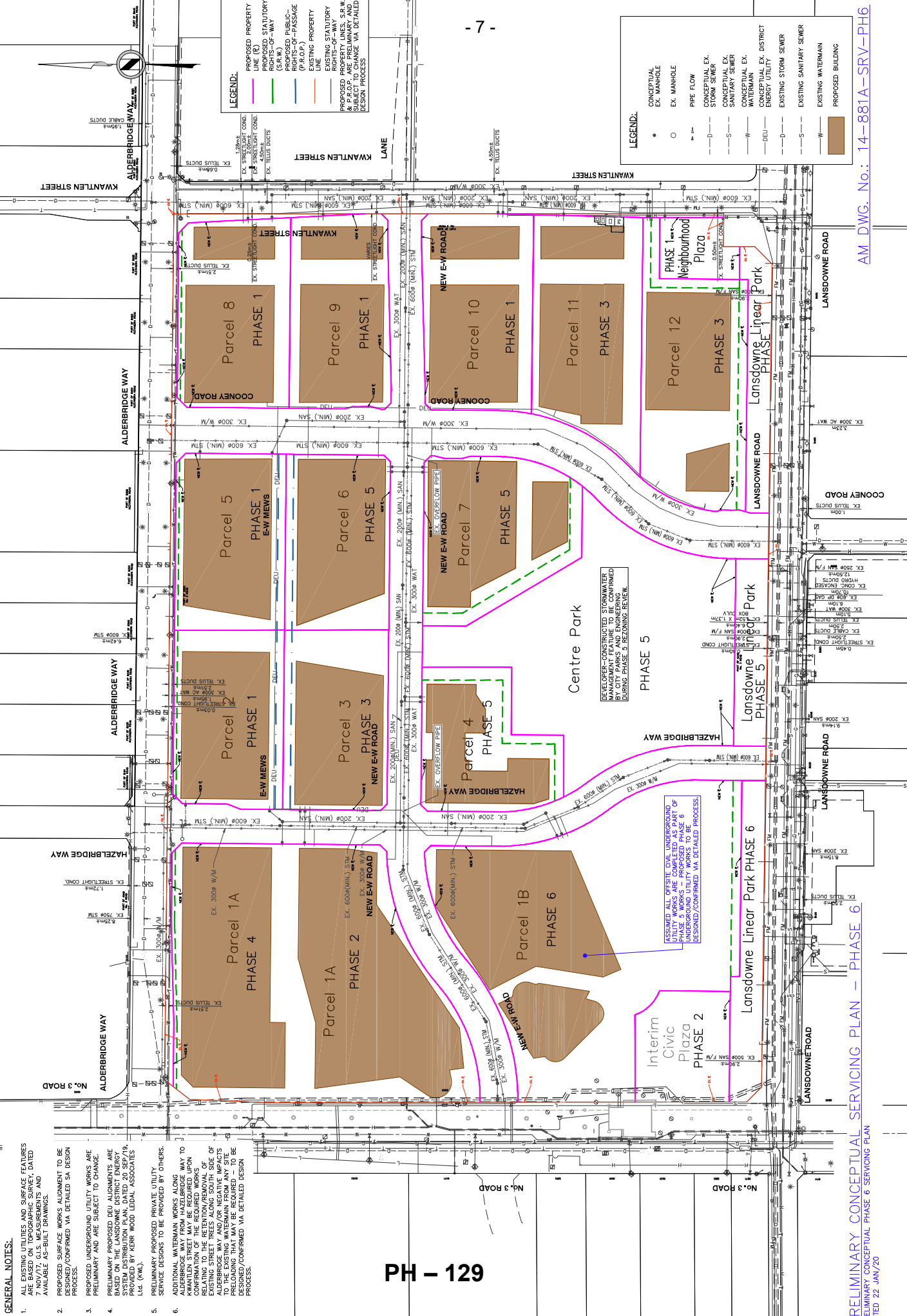
1. ALL EXISTING UTILITIES AND SURFACE FEATURES ARE BASED ON TOPOGRAPHIC SURVEY, DATED 7 NOV/17. C.I.S. MEASUREMENTS AND AVAILABLE AS-BUILT DRAWINGS.
2. PROPOSED SURFACE WORKS ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANSWOWNE DISTRICT ENERGY PLAN (LANSWOWNE DISTRICT ENERGY PLAN), PROVIDED BY KEIR WOOD LEGAL ASSOCIATES, L.L.C. (K.W.).
5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
6. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON RELATING TO THE RETENTION/REMOVAL OF EXISTING STREET TREES ALONG SOUTH SIDE OF ALDERBRIDGE WAY. ANY SUCH WORKS TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

EX. FIRE HYDRANT RELOCATION/INSTALLATION WITH CODE CONSULTANT REVIEW/DESIGN (TO BE DESIGNED/CONFIRMED DURING DETAILED DESIGN PROCESS)

**PH - 128**



**PRELIMINARY CONCEPTUAL SERVICING PLAN - PHASE 5**  
 PRELIMINARY CONCEPTUAL PHASE 5 SERVICING PLAN  
 DATED 22 JAN/20



**GENERAL NOTES:**

1. ALL EXISTING UTILITIES AND SURFACE FEATURES ARE BASED ON TOPOGRAPHIC SURVEY DATED 7 NOV/17. C.I.S. MEASUREMENTS AND AVAILABLE AS-BUILT DRAWINGS.
2. PROPOSED SURFACE WORKS ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANSLOWNE DISTRICT ENERGY PLAN (2016) AND THE LANSLOWNE DISTRICT ENERGY PLAN (2016) PROVIDED BY KEIR WOOD LEGAL ASSOCIATES LtG. (KW).
5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
6. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON COMPLETION OF THE SA DESIGN PROCESS RELATING TO THE RETENTION/REMOVAL OF EXISTING STREET TREES ALONG SOUTH SIDE OF ALDERBRIDGE WAY. ANY ADDITIONAL WORKS TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

**PH - 129**

**LEGEND:**

- PROPOSED PROPERTY LINE (R)
- PROPOSED STATUTORY RIGHTS-OF-WAY
- PROPOSED PUBLIC RIGHTS-OF-PASSAGE (P.R.O.P.)
- EXISTING PROPERTY LINE
- EXISTING STATUTORY RIGHTS-OF-WAY
- PROPOSED STATUTORY RIGHTS-OF-WAY & P.R.O.P. ARE PRELIMINARY AND SUBJECT TO CHANGE VIA DETAILED DESIGN PROCESS

**LEGEND:**

- CONCEPTUAL EX. MANHOLE
- CONCEPTUAL EX. PIPE FLOW
- CONCEPTUAL EX. STORM SEWER
- CONCEPTUAL EX. WATERMAIN
- CONCEPTUAL EX. DISTRICT ENERGY UTILITY
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED BUILDING

DEVELOPER-CONSTRUCTED STORMWATER STORAGE AND ENGINEERING BY CITY PARKS AND ENGINEERING DURING PHASE 5 REZONING REVIEW.

ASSUMED ALL OFFSITE CIVIL UNDERGROUND UTILITY WORKS ARE COMPLETED AS PART OF UNDERGROUND UTILITY WORKS TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

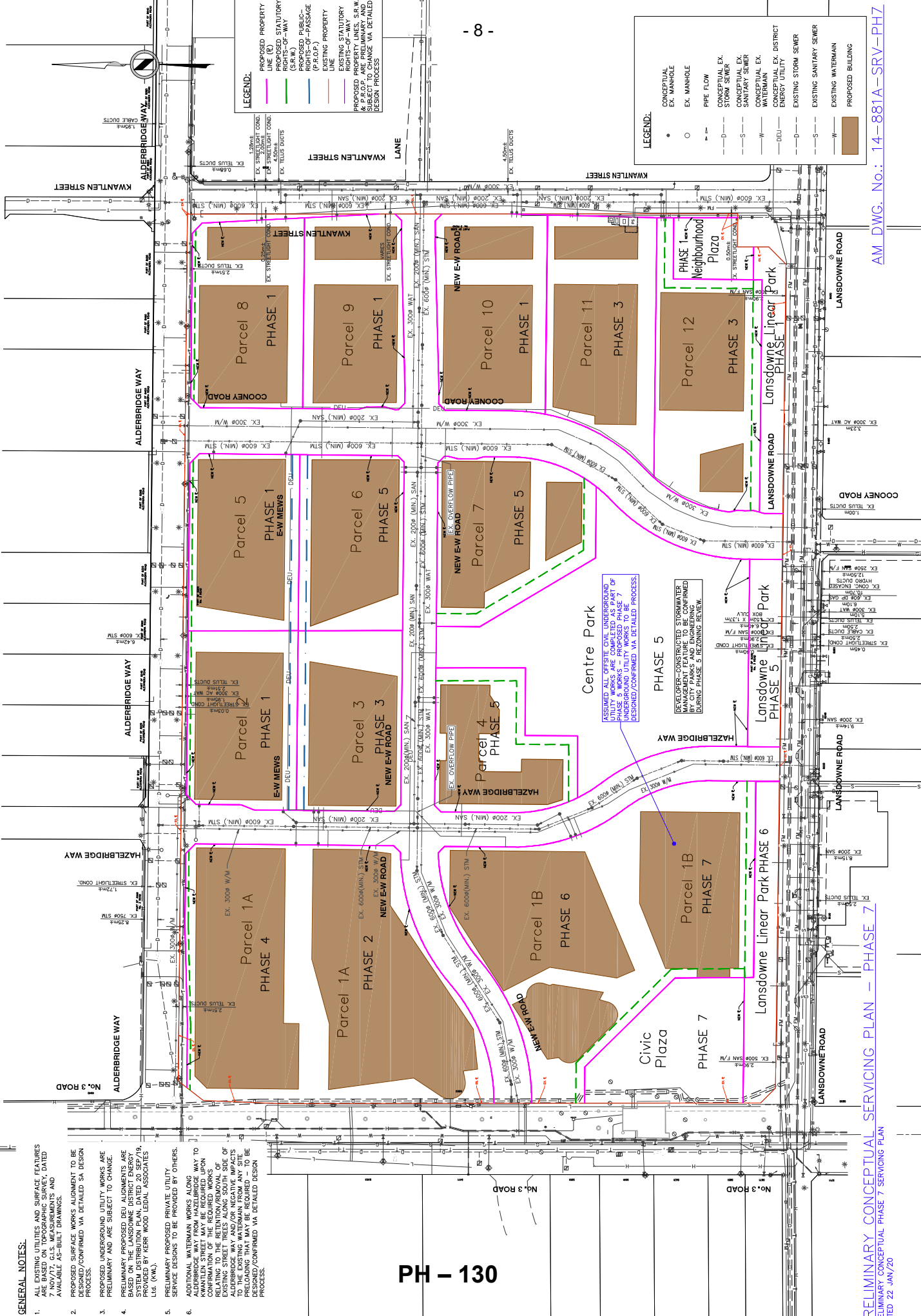
AM DWG. No.: 14-881A-SRV-PH6

PRELIMINARY CONCEPTUAL SERVICING PLAN - PHASE 6  
 PRELIMINARY CONCEPTUAL PHASE 6 SERVICING PLAN  
 DATED 22 JAN/20

**GENERAL NOTES:**

1. ALL EXISTING UTILITIES AND SURFACE FEATURES ARE BASED ON TOPOGRAPHIC SURVEY, DATED 7 NOV/17. C.I.S. MEASUREMENTS AND AVAILABLE AS-BUILT DRAWINGS.
2. PROPOSED SURFACE WORKS ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANSWOWNE DISTRICT ENERGY PLAN (LANSWOWNE DISTRICT ENERGY PLAN), PROVIDED BY KER WOOD LEGAL ASSOCIATES LtG. (KW).
5. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
6. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON PROCEEDING TO THE RETENTION/REMOVAL OF EXISTING STREET TREES ALONG SOUTH SIDE OF ALDERBRIDGE WAY. ANY ADDITIONAL WORKS TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

**PH - 130**



**LEGEND:**

- PROPOSED PROPERTY LINE (R)
- PROPOSED STATUTORY RIGHTS-OF-WAY
- PROPOSED PUBLIC RIGHTS-OF-PASSAGE (P.R.O.P.)
- EXISTING PROPERTY LINE
- EXISTING STATUTORY RIGHTS-OF-WAY
- PROPOSED RIGHTS-OF-WAY & P.R.O.P. ARE PRELIMINARY AND SUBJECT TO CHANGE VIA DETAILED DESIGN PROCESS

**LEGEND:**

- CONCEPTUAL EX. MANHOLE
- EX. MANHOLE
- PIPE FLOW
- CONCEPTUAL EX. STORM SEWER
- CONCEPTUAL EX. WATERMAIN
- CONCEPTUAL EX. WATERMAIN
- CONCEPTUAL EX. DISTRICT ENERGY UTILITY
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED BUILDING

ASSUMED ALL OFFSITE CIVIL UNDERGROUND PHASE 5 WORKS - PROPOSED PHASE 7 UNDERGROUND UTILITY WORKS TO BE DESIGNED/CONFIRMED VIA DETAILED PROCESS.

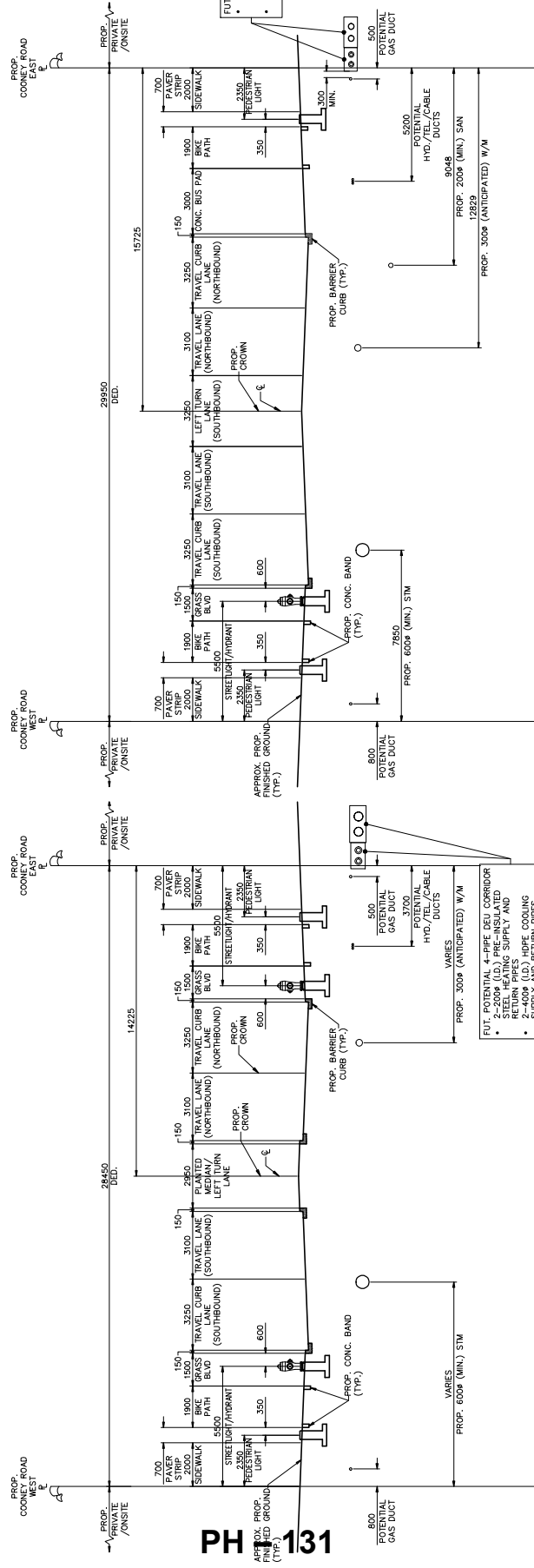
DEVELOPER-CONSTRUCTED STORMWATER UNDERGROUND UTILITY WORKS TO BE CONFIRMED BY CITY PARKS AND ENGINEERING DURING PHASE 5 REZONING REVIEW.

AM DWG. No.: 14-881A-SRV-PH7

PRELIMINARY CONCEPTUAL SERVICING PLAN - PHASE 7  
 PRELIMINARY CONCEPTUAL PHASE 7 SERVICING PLAN  
 DATED 22 JAN/20

**GENERAL NOTES:**

1. ALL EXISTING UTILITIES AND SURFACE FEATURES ARE BASED ON TOPOGRAPHIC SURVEY, DATED 7 NOV/17, C.I.S. MEASUREMENTS AND AVAILABLE AS-BUILT DRAWINGS.
2. PROPOSED SURFACE WORKS ALIGNMENT TO BE DESIGNED/CONFIRMED VIA DETAILED SA DESIGN PROCESS.
3. PROPOSED UNDERGROUND UTILITY WORKS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
4. PRELIMINARY PROPOSED DEU ALIGNMENTS ARE BASED ON THE LANSDOWNE DISTRICT ENERGY SYSTEM DISTRIBUTION PLANS, DATED 20 SEP/19, PROVIDED BY KERR ROAD LEI/LA ASSOCIATED LGI. (N/A).
5. FUTURE ULTIMATE POTENTIAL OFF-SITE LEG DIES PIPES AND MANHOLES TO BE CONFIRMED VIA DETAILED DESIGN PROCESS.
6. PRELIMINARY PROPOSED PRIVATE UTILITY SERVICE DESIGNS TO BE PROVIDED BY OTHERS.
7. ADDITIONAL WATERMAIN WORKS ALONG ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET MAY BE REQUIRED UPON CONFIRMATION OF THE REQUIRED WORKS RELATING TO THE RETENTION/REMOVAL OF EXISTING STREET LIGHTS. THIS WORK MAY BE REQUIRED TO MITIGATE ANY NEGATIVE IMPACTS TO THE EXISTING WATERMAIN FROM ANY SITE PRELOADING THAT MAY BE REQUIRED - TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.



**TYPICAL X-SECTION: COONEY ROAD 'C1'**  
 (ULTIMATE - FROM LANSDOWNE ROAD TO NEW E-W ROAD  
 - AT/CURVED SECTION OF COONEY ROAD)  
 SCALE: N.T.S.

**TYPICAL X-SECTION: COONEY ROAD 'C2'**  
 (FROM NEW E-W ROAD TO ALDERBRIDGE WAY  
 - AT/NEAR NORTHBOUND BUS STOP)  
 SCALE: N.T.S.

X-SECTIONS SHOWN ARE PRELIMINARY CONCEPTUAL. ACTUAL X-SECTIONS TO BE PROVIDED VIA DETAILED DESIGN PROCESS.

**REGULATORY SERVICES**

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, PROVIDE FOR THEIR REMOVAL AND REPAIR FROM EXISTING RECORDS. SECONDARY RECORDS, TRAVEL LANE, SIDEWALK, NORTHWEST CORNER, AT SOUTHWEST CORNER OF NO. 3 ROAD AT LANSDOWNE SHALL EXISTENCE ROAD.

ELEVATION: 2.233M, GEOMETRIC: \_\_\_\_\_ FIELD BOOK # \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_ TRUCKER/PROJECT # \_\_\_\_\_ ACCOUNT # \_\_\_\_\_

DATE: \_\_\_\_\_ CONTRACT BOOK # \_\_\_\_\_

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818 - 1177 West Hurlingham Street, Vancouver, B.C. Canada, V6E 4K6  
 Tel: (604) 679-8455 Fax: (604) 679-8061 Email: general@aplincan.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-01

REV	DATE	BY	CHK	DESCRIPTION
B	22 JAN/20	M/PM	M/PM	ISSUED FOR CITY REVIEW/APPROVAL
A	6 JAN/20	M/PM	M/PM	ISSUED FOR CITY REVIEW/APPROVAL

**City of Richmond**  
 8311 NO. 3 ROAD, RICHMOND, B.C., V6Y 2E1

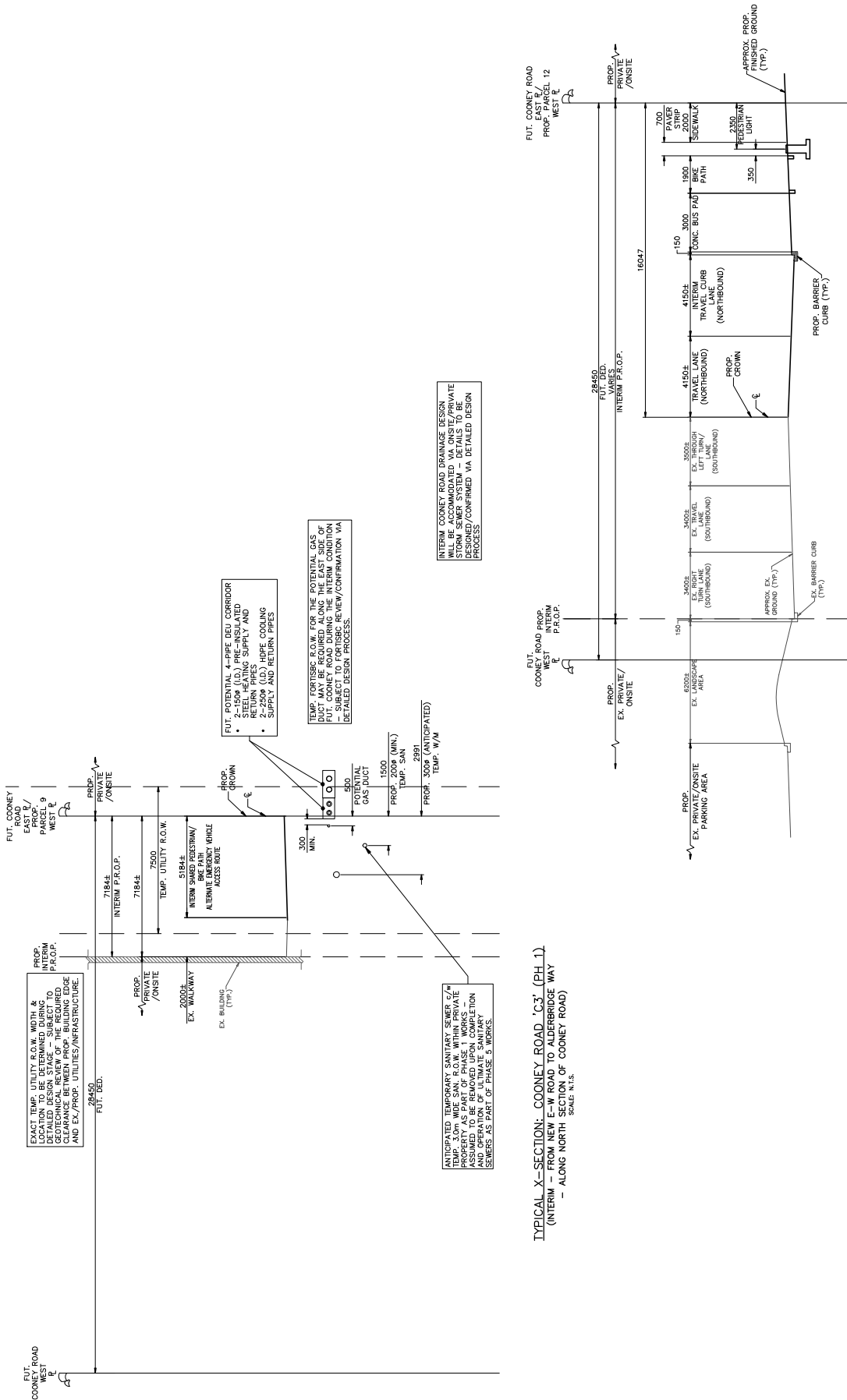
**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
 ULTIMATE COONEY ROAD  
 ANTICIPATED TYPICAL X-SECTIONS**

5300 NO. 3 ROAD  
 CITY FILE # 14-881A-SRV-SEC-01

DESIGNER	M/PM	DATE	10 FEB 2020
REVIEWER	RM	DATE	10 FEB 2020
APPROVED	MY	DATE	10 FEB 2020
ISSUED	MY	DATE	10 FEB 2020







TYPICAL X-SECTION: COONEY ROAD 'C3' (PH 1)  
 (INTERIM - FROM NEW E-W ROAD TO ALDERBRIDGE WAY)  
 - ALONG NORTH SECTION OF COONEY ROAD  
 SCALE: N.T.S.

TYPICAL X-SECTION: COONEY ROAD 'C1A' (PH 3)  
 (INTERIM - AT/NEAR LANSDOWNE ROAD)  
 - ALONG THE CURVED SECTION OF COONEY ROAD  
 SCALE: N.T.S.

EXACT TEMP. UTILITY R.O.W. WIDTH & LOCATIONS TO BE DETERMINED DURING DETAILED DESIGN STAGE - SUBJECT TO ALL APPLICABLE REGULATIONS AND CLEARANCES FOR ABOVE AND EX. UTILITIES/INFRASTRUCTURE.

FUT. POTENTIAL 4-PIPE DEU CORRIDOR  
 • 2-1500 (L.D.) PRE-INSULATED FIBERGLASS WATER SUPPLY AND RETURN PIPES  
 • 2-2500 (L.D.) HDPE COOLING SUPPLY AND RETURN PIPES

TEMP. FORTIERSB R.O.W. FOR THE POTENTIAL GAS DUCT MAY BE REQUIRED ALONG THE EAST SIDE OF INTERIM PRIVATE/ON-SITE AREA - SUBJECT TO FORTIERSB REVIEW/CONFIRMATION VIA DETAILED DESIGN PROCESS.

INTERIM COONEY ROAD DRAINAGE DESIGN WILL BE ACCOMMODATED VIA ON-SITE/PRIVATE STORM SEWER SYSTEM - DETAILS TO BE PROVIDED BY CONTRACTOR AND REVIEWED/CONFIRMED VIA DETAILED DESIGN PROCESS.

ANTICIPATED TEMPORARY SANITARY SEWER C/W SYSTEM WILL BE REMOVED UPON PRIVATE PROPERTY AS PART OF PHASE 1 WORKS. CONTRACTOR SHALL PROVIDE ALL NECESSARY SENSERS AS PART OF PHASE 5 WORKS.

PH - 133

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE PROVIDED BY CONTRACTOR AND REVIEWED/CONFIRMED VIA DETAILED DESIGN PROCESS.

DESIGNER'S RESPONSIBILITIES  
 THE DESIGNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR PROTECTION. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE CITY ENGINEER.  
 CONSULTANT:  
 B.C. I. CALL  
 TELEPHONE: 1-800-774-0898  
 CELLPHONE: 708-688-1188

NOTES: B.C. I. HAS RECEIVED 15 DAYS NOTICE FROM THE CONTRACTOR OF ANY WORK.

REVISIONS  
 ALL DRAWINGS ARE TO GEODETIC DATUM AND REFER TO RICHMOND GRID COORDINATE NUMBERS.  
 NORTH AND SOUTH BOUNDARIES, SECONDARY BOUNDARIES, TRANSFER LINES/AREA STATIONS, NORTHWEST CORNER OF NO. 3 ROAD AT LANSDOWNE SHALL EXTEND TO ROAD CENTERLINE.  
 ELEVATION: 2.230M GEODETIC  
 City Name, Address # \_\_\_\_\_ FLD BOOK # \_\_\_\_\_  
 CONTRACTOR'S BOOK # \_\_\_\_\_ TRUCK # PROJECT # \_\_\_\_\_  
 ACCOUNT # \_\_\_\_\_

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING INTERIORS

#1818-1177 West Hastings Street, Vancouver, B.C., Canada, V6Z 4G9  
 Tel: (604) 678-4351, Fax: (604) 678-4061, Email: general@aplmartin.com

APLIN MARTIN DWG. NO. 14-881A-SRV-SEC-03

REV	DATE	BY	CHK	DESCRIPTION
B	22 JAN/20	M/T/M	M/T	ISSUED FOR CITY REVIEW/APPROVAL
A	6 JAN/20	M/T/M	M/T	ISSUED FOR CITY REVIEW/APPROVAL

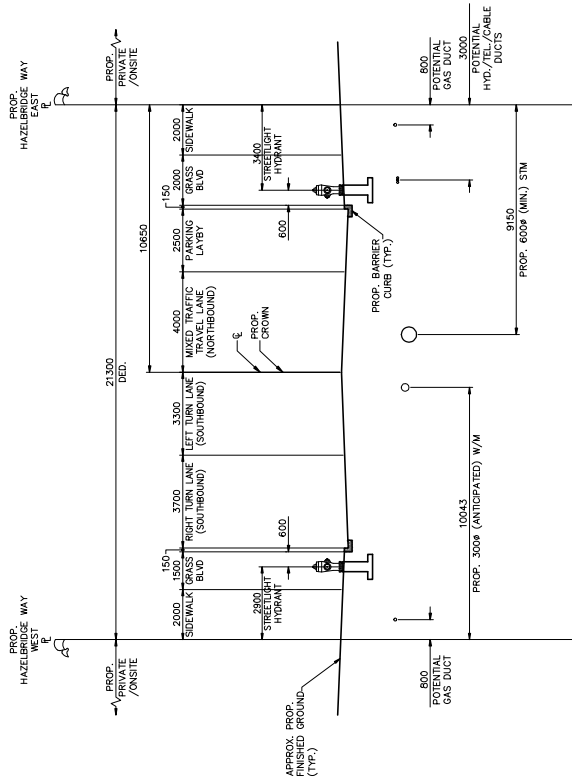
**City of Richmond**  
 8311, W. 3<sup>RD</sup> ROAD, RICHMOND, B.C., V6Y 2Y1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN FOR INTERIM COONEY ROAD (ANTICIPATED TYPICAL X-SECTIONS)**

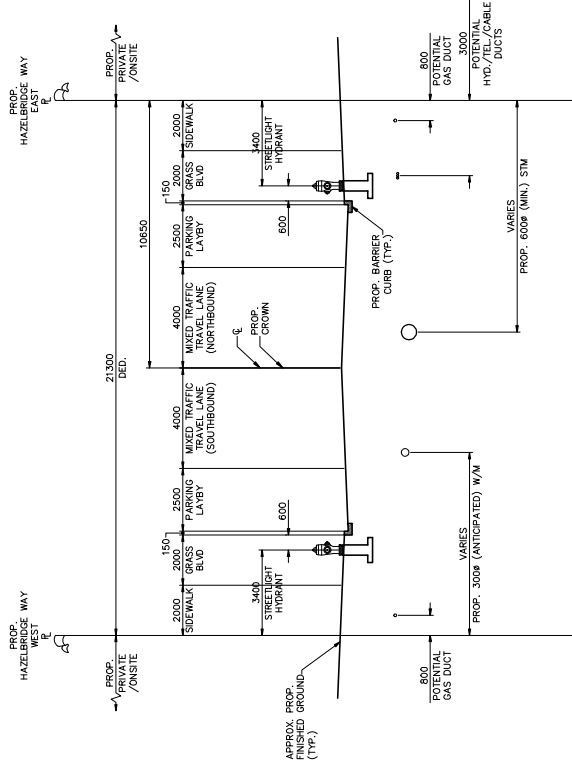
PROJECT NO.: 5300 NO. 3 ROAD  
 CITY FILE #.: SA 14-1000

APPROVAL:	MY/RM	DATE:	AS NOTED
DESIGNED:	RM	DATE:	MARCH 2017
CHECKED:	MY	DATE:	3-1-17

SCALE: 3:4=1 (AS SHOWN)



TYPICAL X-SECTION: HAZELBRIDGE WAY 'H1'  
 (FROM LANSDOWNE ROAD TO NEW E-W ROAD)  
 - AT/NEAR INTERSECTION OF HAZELBRIDGE WAY AND LANSDOWNE ROAD  
 SCALE: N.T.S.



TYPICAL X-SECTION: HAZELBRIDGE WAY 'H2'  
 (FROM LANSDOWNE ROAD TO NEW E-W ROAD)  
 - ALONG CURVED SECTION OF HAZELBRIDGE WAY  
 SCALE: N.T.S.

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED BY THE ENGINEER/CONSULTANT. CONFIRMED VIA DETAILED DESIGN PROCESS.

ALL ELEVATIONS ARE TO EXISTING DATUM AND REFER TO BOUNDARY BENCHMARK NUMBERS. DATUM AND BOUNDARY BENCHMARK NUMBERS, SECONDARY BENCHMARK, TRAFFIC LIGHT/RAIL SIGNAL, NORTHWEST CORNER OF NO. 3 ROAD AT LANSDOWNE SHALL EXISTING ROAD.

ELEVATION: 2.230M AOD  
 CITY: DUBLIN  
 CLIENT: PROJECT #  
 ACCOUNT #  
 FIELD BOOK #  
 CONSULTANT'S BOOK #

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR REMOVAL AND RELOCATION TO AVOID CONFLICT WITH PROPOSED WORK.

REG. NO. 1000  
 TEL: 01-800-774-888  
 CELL: 01-800-774-888  
 FAX: 01-800-774-888  
 WWW: WWW.APLINMARTIN.COM

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

#1818-1177 West Hurlingham Street, Wicklow, Co. Wick, Ireland  
 Tel: (00353) 51 934315 Fax: (00353) 51 934301 Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-04

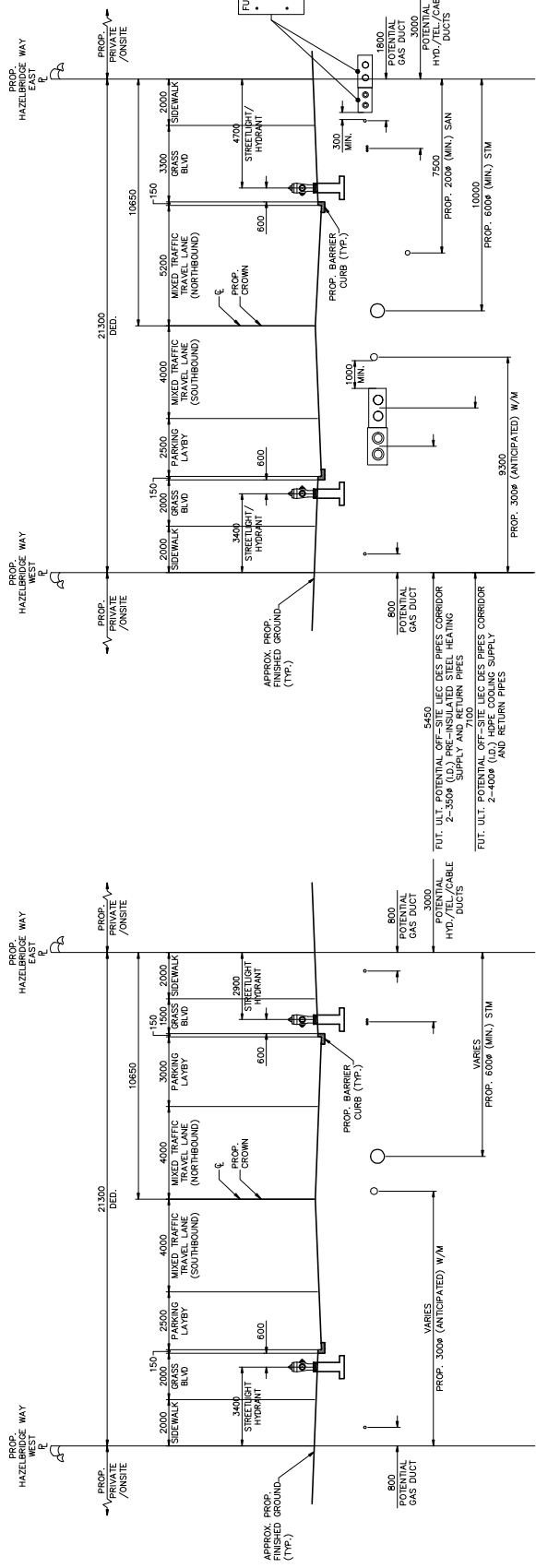
NO.	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	WJ/WM	MF	ISSUED FOR CITY REVIEW/PROVAL
A	6 JAN/20	WJ/WM	MF	ISSUED FOR CITY REVIEW/PROVAL
1				ISSUED FOR CITY REVIEW/PROVAL

**City of Richmond**  
 8911 NO. 3 ROAD, RICHMOND, B.C., V6Y 2E1

TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
 ULTIMATE HAZELBRIDGE WAY  
 ANTICIPATED TYPICAL X-SECTIONS

5300 NO. 3 ROAD  
 CITY FILE #. 24-11-11111

DESIGNED BY	WJ/WM	DATE	MARCH 2017
CHECKED BY	MF	SCALE	AS NOTED
DRAWN BY	MF	NO. OF SHEETS	34-4-B
DATE			



TYPICAL X-SECTION: HAZELBRIDGE WAY 'H4'  
 (FROM NEW E-W ROAD TO ALDERBRIDGE WAY  
 - ALONG MID SECTION OF THE HAZELBRIDGE WAY)  
 SCALE: N.T.S.

TYPICAL X-SECTION: HAZELBRIDGE WAY 'H3'  
 (FROM SOUTHERN MID-BLOCK PEDESTRIAN CROSSING TO  
 SOUTH OF EAST-WEST NEWS)  
 SCALE: N.T.S.

- FUT. POTENTIAL 4-PIPE DELU CORRIDOR
- 2-150# (I.D.) PRE-INSULATED GAS SUPPLY AND RETURN PIPES
- 2-250# (I.D.) HDPE COOLING SUPPLY AND RETURN PIPES

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED THROUGH THE DESIGN PROCESS.

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, AVOIDANCE FOR THEIR PROTECTION. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE CITY ENGINEER'S OFFICE.

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBERS. EXISTING ELEVATIONS FROM BENCHMARK. SECONDARY BENCHMARK, TRAVEL LANE, SIDEWALK, NORTHWEST CORNER OF SOUTHWEST CORNER OF NO. 3 ROAD AT JUNCTION SHALL ENTRANCE ROAD.

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

#1818 - 1177 West Hastings Street, Vancouver, B.C., Canada, V6E 4K3  
 Tel: (604) 678-8431, Fax: (604) 678-8061, Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-05

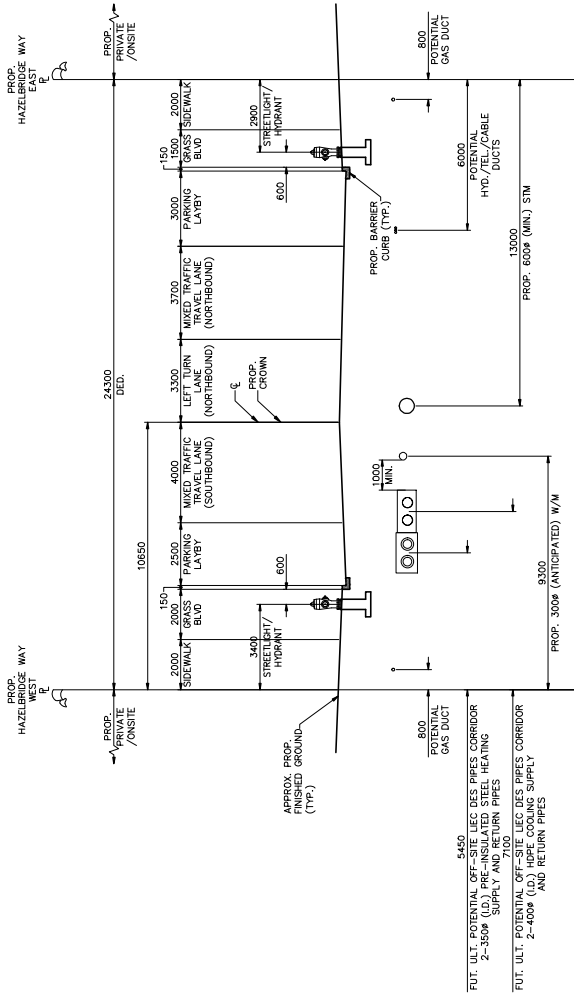
NO.	DATE	BY	CHK	DESCRIPTION
B	22 JAN/20	W/T/M	W/T	ISSUED FOR CITY REVIEW/PROVAL
A	6 JAN/20	W/T/M	W/T	ISSUED FOR CITY REVIEW/PROVAL

**City of Richmond**  
 8511 152<sup>ND</sup> ST. 3<sup>RD</sup> FLOOR, RICHMOND, B.C., V6Y 2E1

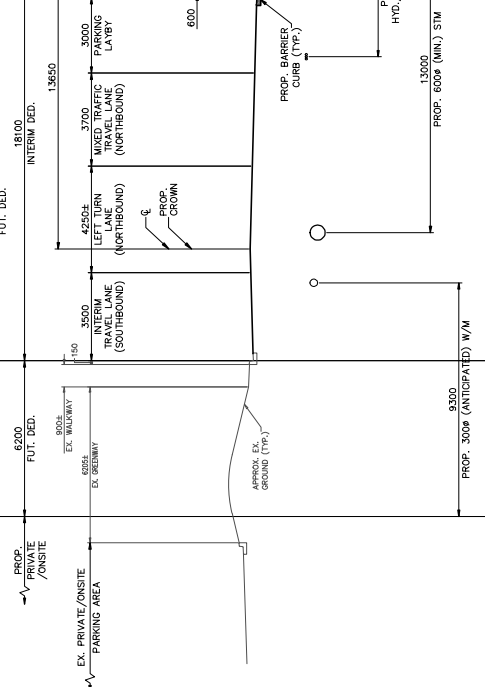
TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
 ULTIMATE HAZELBRIDGE WAY  
 ANTICIPATED TYPICAL X-SECTIONS

5300 NO. 3 ROAD  
 CITY FILE #. 14-881A-SRV-SEC-05

DESIGNER	W/T/M	DATE	22 JAN 2020
CHECKER	W/T	DATE	06 JAN 2020
APPROVED	RM	DATE	AS NOTED
ISSUED	MY	DATE	05 FEB 2020



TYPICAL X-SECTION: HAZELBRIDGE WAY 'H5'  
(ULTIMATE - FROM EAST-WEST MEWS TO ALDERBRIDGE WAY  
- ALONG NORTH SECTION OF THE HAZELBRIDGE WAY)  
SCALE: N.T.S.



TYPICAL X-SECTION: HAZELBRIDGE WAY 'H5' (PH1)  
(INTERIM - FROM EAST-WEST MEWS TO ALDERBRIDGE WAY  
- ALONG NORTH SECTION OF THE HAZELBRIDGE WAY)  
SCALE: N.T.S.

5460  
FUT. ULT. POTENTIAL OFF-SITE LEC DES PIPES CORRIDOR  
2-3500 (L.D.) PRE-INSULATED STEEL HEATING  
SUPPLY AND RETURN PIPES  
7100  
FUT. ULT. POTENTIAL OFF-SITE LEC DES PIPES CORRIDOR  
2-4000 (L.D.) HDPE COOLING SUPPLY  
AND RETURN PIPES

PH - 136

X-SECTIONS SHOWN ARE PRELIMINARY/  
CONCEPTUAL. ACTUAL X-SECTIONS TO  
BE DETERMINED BY FIELD SURVEY AND  
CONFIRMED VIA DETAILED  
DESIGN PROCESS.

ALL ELEVATIONS ARE TO BENCHMARK DATUM AND REFER TO BENCHMARK BENCHMARK NUMBER:  
LOCATIONS OF GAS SERVICE LINES, AND WHERE NECESSARY, APPROVED FOR THEIR  
LOCATION AND DEPTH FROM BENCHMARK. SECONDARY BENCHMARK TARGETS, LIGHT/HAZARD, SIGNAGE,  
NORTHWEST CORNER OF INTERSECTION, INTERSECTION CORNER OF NO. 3 ROAD AT LANSBORNE SHALL STAINLESS STEEL  
ELEVATION: 2.230M GEODETIC  
FIELD BOOK # \_\_\_\_\_  
CITY (NAME, ADDRESS # \_\_\_\_\_, ACCOUNT # \_\_\_\_\_)  
CONTRACT BOOK # \_\_\_\_\_

THE ENGINEER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING  
LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, APPROVED FOR THEIR  
LOCATION AND DEPTH FROM BENCHMARK. SECONDARY BENCHMARK TARGETS, LIGHT/HAZARD, SIGNAGE,  
NORTHWEST CORNER OF INTERSECTION, INTERSECTION CORNER OF NO. 3 ROAD AT LANSBORNE SHALL STAINLESS STEEL  
ELEVATION: 2.230M GEODETIC  
FIELD BOOK # \_\_\_\_\_  
CITY (NAME, ADDRESS # \_\_\_\_\_, ACCOUNT # \_\_\_\_\_)  
CONTRACT BOOK # \_\_\_\_\_

**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING  
#1818-1177 West Hastings Street Vancouver, B.C. Canada V6E 4G3  
Tel: (604) 679-8431 Fax: (604) 679-8061 Email: general@aplinmartin.com  
APLIN MARTIN DWG. No. 14-881A-SRV-SEC-06

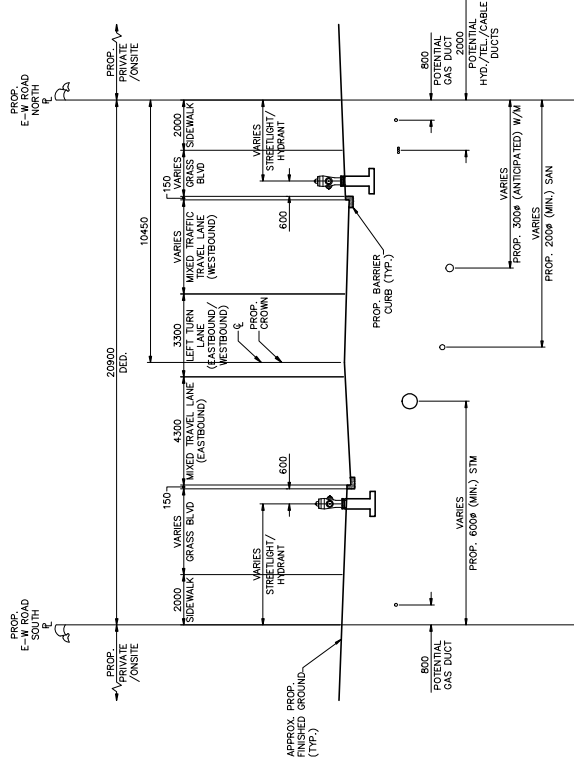
REV	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	W/PM	MF	ISSUED FOR CITY REVIEW/ APPROVAL
A	6 JAN/20	W/PM	MF	ISSUED FOR CITY REVIEW/ APPROVAL

**City of Richmond**  
8511 152<sup>ND</sup> ST. 3<sup>RD</sup> ROAD, RICHMOND, B.C., V6Y 2E1

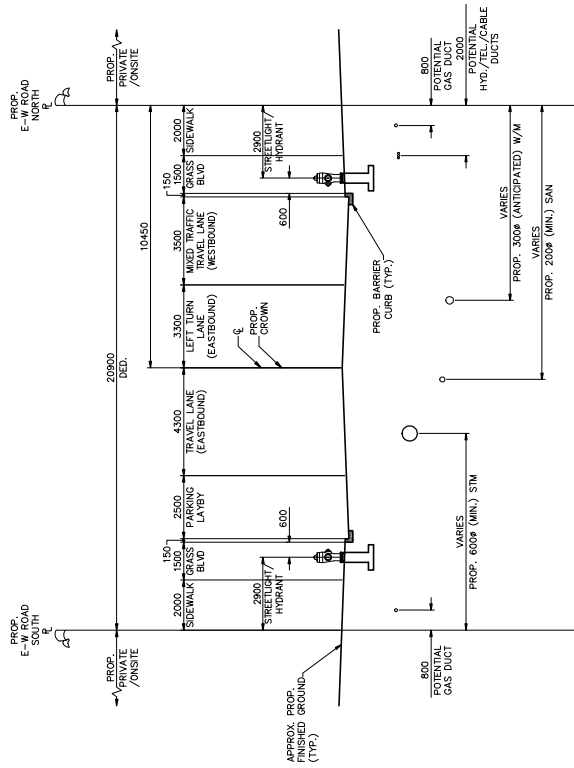
TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
HAZELBRIDGE WAY  
ANTICIPATED TYPICAL X-SECTIONS

5300 NO. 3 ROAD  
CITY FILE # 14-881A-SRV-SEC-06

DESIGNER	MY/PM	DATE	MARCH 2017
REVISIONS	RM	STATUS	AS NOTED
APPROVED	MY	DATE	14-06-23



TYPICAL X-SECTION: NEW E-W ROAD 'E2'  
 (FROM KWANTLEN STREET TO COONEY ROAD  
 - ALONG MID SECTION OF NEW E-W ROAD)  
 SCALE: N.T.S.



TYPICAL X-SECTION: NEW E-W ROAD 'E1'  
 (FROM KWANTLEN STREET TO COONEY ROAD -  
 ALONG EAST SECTION OF NEW E-W ROAD)  
 SCALE: N.T.S.

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED THROUGH THE DESIGN PROCESS.

ALL DRAWINGS ARE TO ACCURATE DIMENSIONS AND REFER TO DIMENSIONS UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

CONTRACT NO. 2020-000000  
 SHEET NO. 15 OF 15  
 DATE: 07/2020

APLIN MARTIN  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

18818-1177 West Havelock Street, Vancouver, B.C., Canada V6E 4K9  
 Tel: (604) 278-4351 Fax: (604) 278-4361 Email: general@aplinsmartin.com

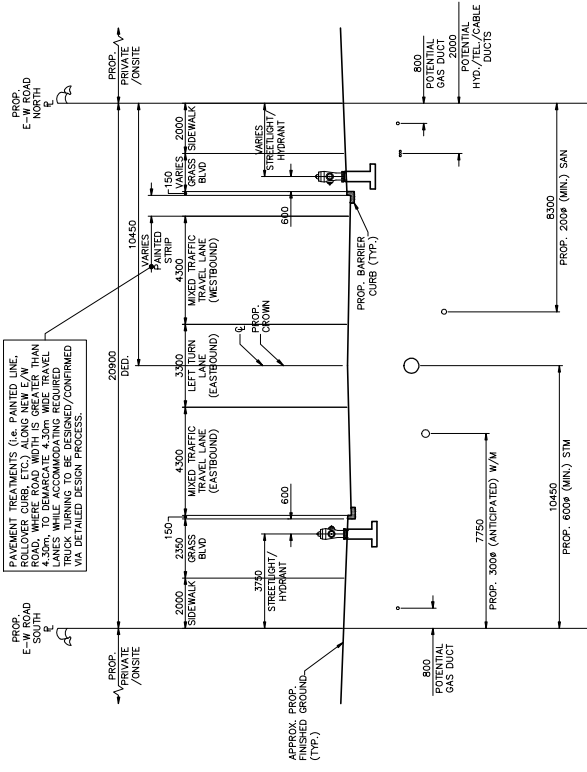
NO.	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	WY/RM	MF	ISSUED FOR CITY REVIEW/ APPROVAL
A	6 JUN/20	WY/RM	MF	ISSUED FOR CITY REVIEW/ APPROVAL

**City of Richmond**  
 8311 No. 3 Road, Richmond, B.C., V6Y 2E1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
**ULTIMATE ULTIMATE E-W ROAD**  
**ANTICIPATED TYPICAL X-SECTIONS**

5300 No. 3 Road  
 CITY FILE # 24-11111111

DATE: 07/2020  
 DRAWN BY: WY/RM  
 CHECKED BY: MF  
 PROJECT NO: 24-11111111



TYPICAL X-SECTION: NEW E-W ROAD 'E3'  
 (FROM KWANTLEN STREET TO COONEY ROAD  
 - ALONG WEST SECTION OF NEW E-W ROAD)  
 SCALE: N.T.S.

TYPICAL X-SECTION: NEW E-W ROAD 'E4'  
 (FROM COONEY ROAD TO HAZELBRIDGE WAY  
 - ALONG EAST SECTION OF NEW E-W ROAD)  
 SCALE: N.T.S.

PAVEMENT TREATMENTS (i.e. PAINTED LINE, MARKINGS, CURBS, ETC.) SHALL BE DESIGNED TO DEMARCATATE 4.30m WIDE TRAVEL LANE. TRUCK TURNING TO BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED VIA DETAILED DESIGN PROCESS.

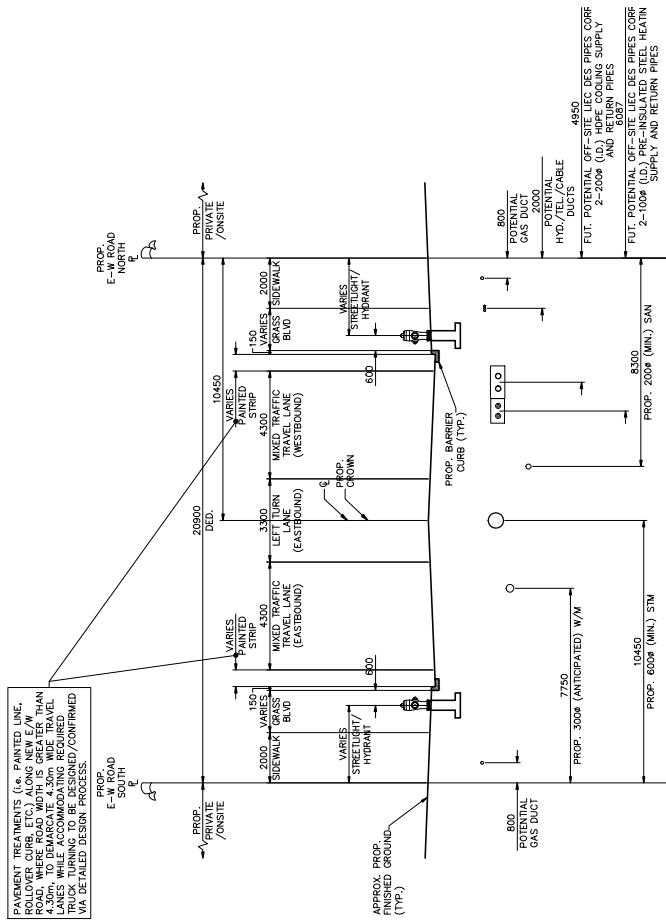
DESIGN SERVICES  
 THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, PROVIDE FOR THEIR PROTECTION. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE CITY OF RICHMOND.  
 B.C. TEL: 604-273-7111  
 CELL: 604-273-7111  
 WITH: B.C. GAS SERVICES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS  
 ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBERS. EXISTING ELEVATIONS ARE TO MEAN SEA LEVEL. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS FROM BENCHMARK SECONDARY BENCHMARK, TRANSIT, LIGHT/HAZ. STANDARDS. NORTHWEST CORNER OF SOUTHWEST CORNER OF NO. 3 ROAD AT JUNCTION SHALL EXTEND TO ROAD.  
 ELEVATION: 2.230m GEODETIC  
 City (Name, Address, #) \_\_\_\_\_  
 CONTRACTOR BOOK # \_\_\_\_\_  
 FIELD BOOK # \_\_\_\_\_  
 TITLE / PROJECT # \_\_\_\_\_  
 ACCOUNT # \_\_\_\_\_

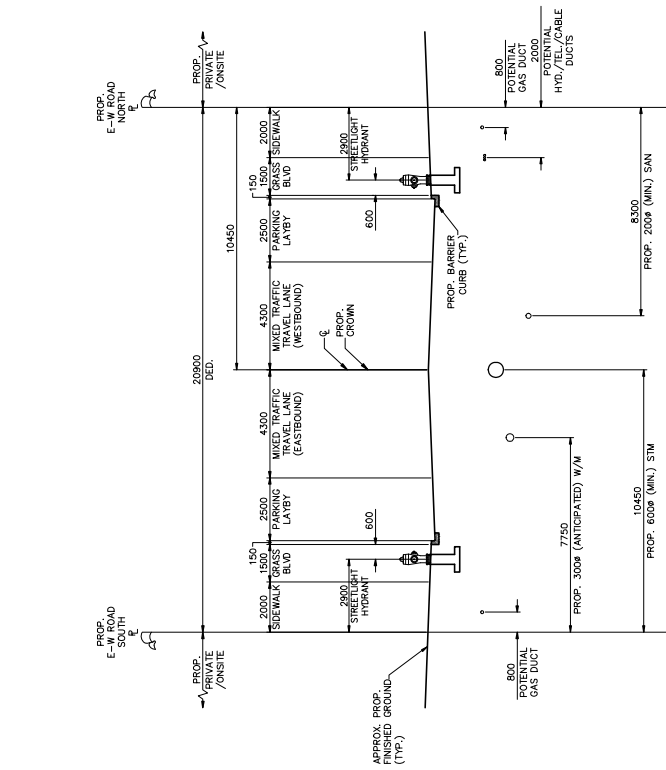
**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING  
 #1818-1177 West Hastings Street, Vancouver, B.C., Canada, V6Z 4K9  
 Tel: (604) 681-8431, Fax: (604) 681-8401, Email: general@aplinmartin.com  
 APLIN MARTIN DWG. No. 14-881A-SRV-SEC-08

REV	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	WY/RM	MF	ISSUED FOR CITY REVIEW/APPROVAL
A	6 JAN/20	WY/RM	MF	ISSUED FOR CITY REVIEW/APPROVAL

**City of Richmond**  
 8511 152<sup>ND</sup> ST. ROAD, RICHMOND, B.C., V6Y 2E1  
 TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
 ULTIMATE E-W ROAD  
 ANTICIPATED TYPICAL X-SECTIONS  
 5300 No. 3 ROAD  
 CITY FILE # 14-881A-SRV-SEC-08  
 DESIGNER: WY/RM  
 CHECKER: RM  
 DATE: 22 JUN 2020  
 SCALE: AS NOTED  
 SHEET: 3.1-4-8  
 TOTAL SHEETS: 23  
 DATE: MARCH 2017



TYPICAL X-SECTION: NEW E-W ROAD 'E6'  
 (FROM COONEY ROAD TO HAZELBRIDGE WAY  
 - ALONG WEST SECTION OF NEW E-W ROAD)  
 SCALE: N.T.S.



TYPICAL X-SECTION: NEW E-W ROAD 'E5'  
 (FROM COONEY ROAD TO HAZELBRIDGE WAY  
 - ALONG MID-SECTION OF NEW E-W ROAD)  
 SCALE: N.T.S.

PAVEMENT TREATMENTS (i.e. PAINTED LINE, ROLL-OVER CURB, ETC.) ALONG NEW E-W ROAD WEST SECTION OF NEW E-W ROAD LINES WHILE ACCOMMODATING REQUIRED. THE CONTRACTOR SHALL BE ADVISED/CONFIRMED VIA DETAILED DESIGN PROCESS.

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED BY THE CONTRACTOR AND SHALL BE CONFIRMED VIA DETAILED DESIGN PROCESS.

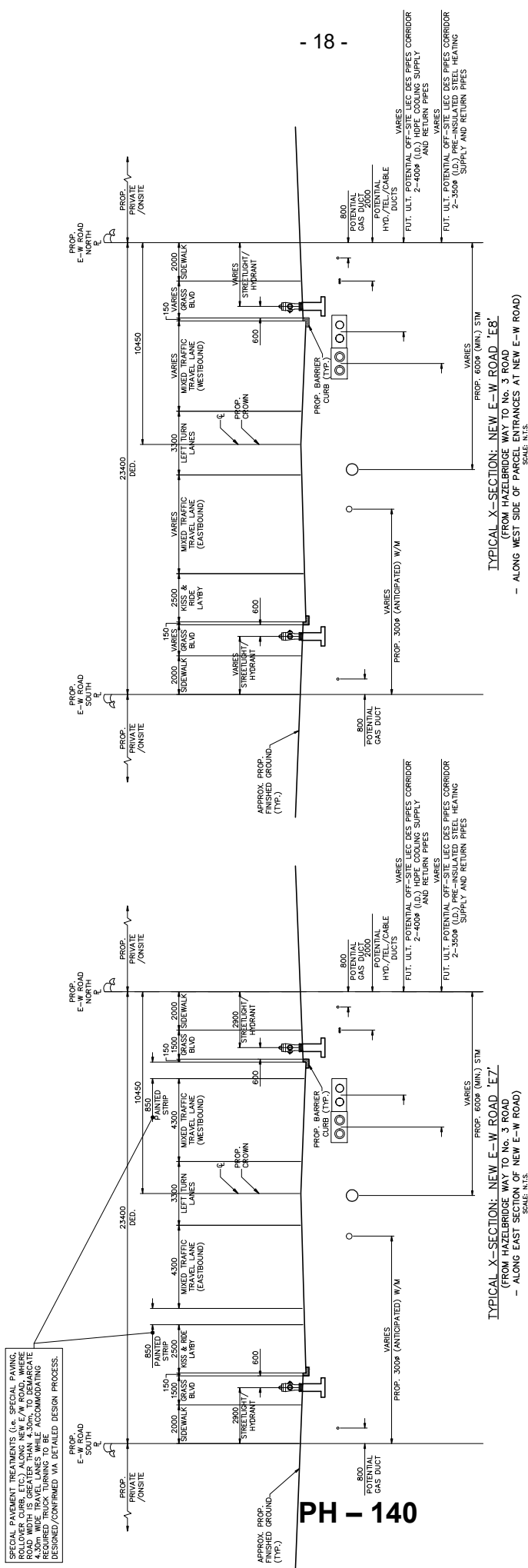
DESIGN SERVICES  
 THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, PROVIDE FOR THEIR PROTECTION. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE CITY OF RICHMOND.  
 B.C. I CALL  
 TELEPHONE: 1-800-771-8888  
 CELLULAR: 708-888-1111  
 WITH: B.C. AND RECEIVES 1 DAY NOTICE PRIOR TO THE COMPLETION OF ANY WORK.

REVISIONS  
 ALL ELEMENTS ARE TO BE ACCURATE DATA AND REFER TO RELEVANT DRAWING NUMBERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AND BEING SURE THAT ALL DIMENSIONS, MATERIALS, AND METHODS ARE AS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AND BEING SURE THAT ALL DIMENSIONS, MATERIALS, AND METHODS ARE AS SHOWN ON THESE DRAWINGS.  
 ELEVATION: 2.230m GEODETIC  
 CITY: RICHMOND, BC  
 CONTRACT NO. 2017-09-23

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING  
 #1818-1177 West Hastings Street, Vancouver, B.C., Canada V6E 4K9  
 Tel: (604) 678-4433, Fax: (604) 678-4001, Email: general@aplinmartin.com  
 APLIN MARTIN DIV. NO. 14-881A-SRV-SEC-09

NO.	DATE	BY	CHK.	DESCRIPTION
A	6 JAN/20	WY/WM	MF	ISSUED FOR CITY REVIEW/ APPROVAL
B	22 JAN/20	WY/WM	MF	ISSUED FOR CITY REVIEW/ APPROVAL

**City of Richmond**  
 8511 152<sup>ND</sup> ST. 3<sup>RD</sup> ROAD, RICHMOND, B.C., V6Y 2E1  
**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
**ULTIMATE PROJECT: NEW E-W ROAD**  
**ANTICIPATED TYPICAL X-SECTIONS**  
 CITY FILE # 3 ROAD  
 DRAWN: WY/WM  
 CHECKED: RM  
 DESIGNED: MY  
 DATE: 09/23/17  
 SCALE: 3:4=1



SPECIAL PAVEMENT TREATMENTS (i.e. SPECIAL PAVING, ROLL-OVER CURBS, ETC.) ALONG NEW E/W ROAD, WHERE ROAD WIDTH IS GREATER THAN 4.30M, TO DEMARCATATE REQUIRED TRUCK TURNING TO BE ACCOMMODATING DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

TYPICAL X-SECTION: NEW E-W ROAD 'E7'  
(FROM HAZELBRIDGE WAY TO NO. 3 ROAD)  
- ALONG EAST SIDE OF NEW E-W ROAD  
SCALE: N.T.S.

TYPICAL X-SECTION: NEW E-W ROAD 'E8'  
(FROM HAZELBRIDGE WAY TO NO. 3 ROAD)  
- ALONG WEST SIDE OF PARCEL ENTRANCES AT NEW E-W ROAD  
SCALE: N.T.S.

PH - 140

X-SECTIONS SHOWN ARE PRELIMINARY CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED THROUGH THE DESIGN PROCESS.

DESIGN SERVICES  
THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, AVOIDANCE OF THESE LINES. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:  
B.C. TEL: 604-431-7111  
TELEPHONE: 604-431-7111  
CELLPHONE: 604-431-7111  
NOTE: B.C. GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS  
ALL ELEVATIONS ARE TO EXISTING UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
ELEVATION: 2.230m GEODETIC  
CITY DRAWING NO.: \_\_\_\_\_  
CONTRACT DRAWING NO.: \_\_\_\_\_  
FIELD BOOK # \_\_\_\_\_  
DATE: \_\_\_\_\_  
PROJECT # \_\_\_\_\_  
ACCOUNT # \_\_\_\_\_

**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SERVICES  
#1818-1177 West Hastings Street, Vancouver, B.C., Canada V6K 3K9  
Tel: (604) 679-8451, Fax: (604) 679-4061, Email: general@aplinc.com  
APLIN MARTIN DWG. NO. 14-881A-SRV-SEC-10

NO.	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	W/T/M	W/T	ISSUED FOR CITY REVIEW/ APPROVAL
A	6 JAN/20	W/T/M	W/T	ISSUED FOR CITY REVIEW/ APPROVAL

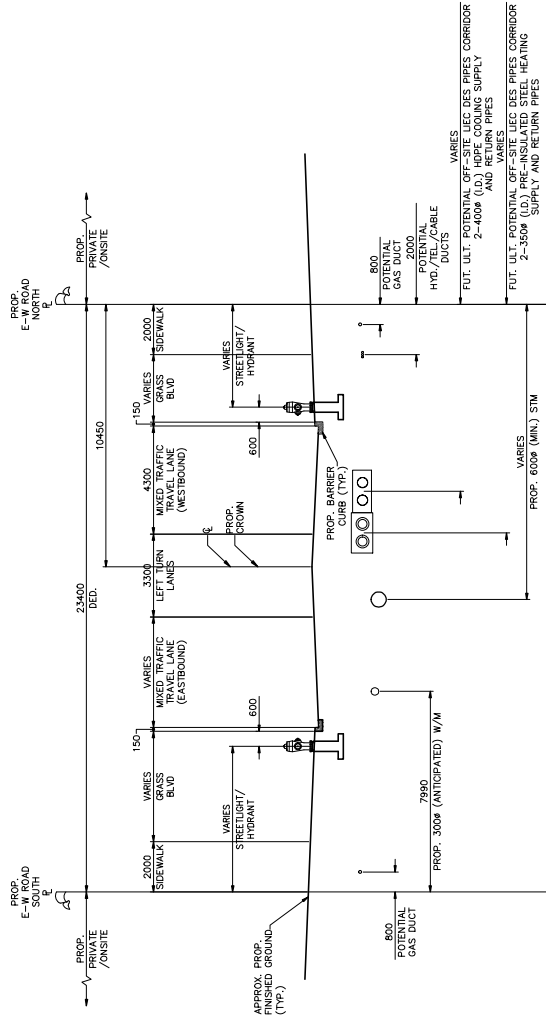
**City of Richmond**  
8311 NO. 3 ROAD, RICHMOND, B.C., V6Y 2E1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
ULTIMATE E-W ROAD  
ANTICIPATED TYPICAL X-SECTIONS**

5300 NO. 3 ROAD  
CITY FILE # 14-881A-SRV-SEC-10

DESIGNER	W/T/M	DATE	18 MAR 2017
CHECKED	RM	SCALE	AS NOTED
APPROVED	MT	DWG. NO.	3.1-4-8
DATE	18 MAR 2017	SHEET NO.	10 OF 23





TYPICAL X-SECTION: NEW E-W ROAD 'E9'  
 - FROM HAZELBRIDGE WAY TO No. 3 ROAD  
 - ALONG WEST SECTION OF NEW E-W ROAD AT/NEAR  
 INTERSECTION OF No. 3 ROAD  
 SCALE: 1:12

X-SECTIONS SHOWN ARE PRELIMINARY/  
 CONCEPTUAL. ACTUAL X-SECTIONS TO  
 BE DETERMINED BY THE ENGINEER  
 AND CONFIRMED VIA DETAILED  
 DESIGN PROCESS.

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING  
 LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, AVOIDANCE FOR THEIR  
 PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY  
 PERMITS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM  
 THE ENGINEER.

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER: \_\_\_\_\_  
 NORTH AND SOUTH FROM BENCHMARK. SECONDARY BENCHMARK: TRAVEL LANE, STATIONED  
 NORTHWEST CORNER OF SOUTHWEST CORNER OF No. 3 ROAD AT LANSBORNE HALL ENTRANCE ROAD  
 ELEVATION: 2,233.0m GEODETIC

FIELD BOOK # \_\_\_\_\_  
 SHEET # \_\_\_\_\_  
 TOTAL SHEETS \_\_\_\_\_

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

#1818-1177 West Hastings Street, Vancouver, B.C., Canada, V6E 4K3  
 Tel: (604) 278-9431 Fax: (604) 278-9091 Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-11

NO.	DATE	BY	CHK.	DESCRIPTION
A	6 JAN/20	WY/WM	WY	ISSUED FOR CITY REVIEW/PROVAL
B	22 JUN/20	WY/WM	WY	ISSUED FOR CITY REVIEW/PROVAL

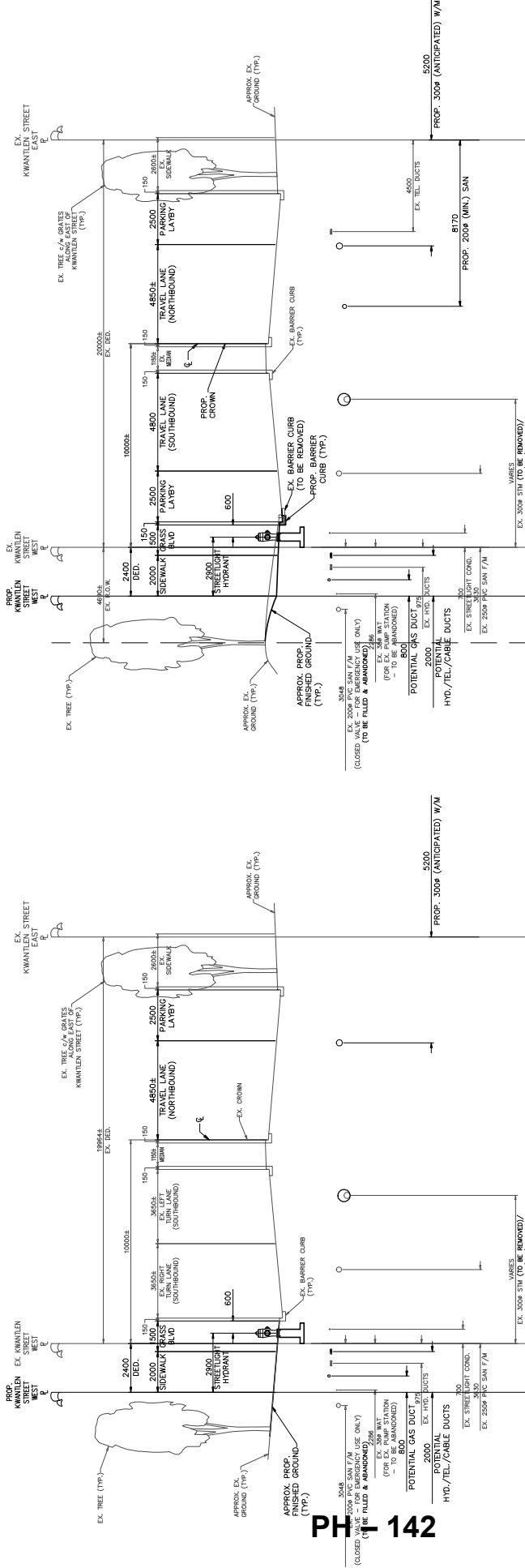
**City of Richmond**  
 8511 No. 3 Road, Richmond, B.C., V6Y 2Y1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
 ULTIMATE TRAVEL LANE ROAD  
 ANTICIPATED TYPICAL X-SECTIONS**

PROJECT NO.: S3000 No. 3 ROAD  
 CITY FILE #.: S4-14-881A-SRV

DESIGNER: WY/WM  
 CHECKER: WY/WM  
 DATE: MARCH 2017  
 SHEET NO.: 3-14-4-B OF 23

EXISTING F.O.W. ALONG THE WEST SIDE OF KWANTLEN STREET TO BE DISCHARGED UPON NEW DEDICATION  
 KWANTLEN STREET - EXACT DETAILS TO BE DETERMINED/CONFIRMED VIA DETAILED DESIGN PROCESS



TYPICAL X-SECTION: KWANTLEN STREET 'K2'  
 (ULTIMATE - FROM LANSDOWNE ROAD TO NEW E-W ROAD  
 - ALONG SOUTH SIDE OF KWANTLEN STREET)  
 SCALE: N.T.S.

TYPICAL X-SECTION: KWANTLEN STREET 'K1'  
 (ULTIMATE - FROM LANSDOWNE ROAD TO NEW E-W ROAD  
 - ALONG SOUTH SIDE OF KWANTLEN STREET)  
 SCALE: N.T.S.

PH 142

X-SECTIONS SHOWN ARE PRELIMINARY/  
 CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED/CONFIRMED VIA DETAILED DESIGN PROCESS.

DESIGN SERVICES  
 THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR REMOVAL AND REPAIR FROM REARWARDS. SECONDARY REARWARDS TRAVEL LANE/ PARKING LANE NORTHWEST CORNER OF NO. 3 ROAD AT LANSDOWNE SHALL EXTEND ROAD  
 ELEVATION: 2.230M GEODETIC  
 City (Date) Stamp # \_\_\_\_\_  
 CONTRACT BOOK NO. # \_\_\_\_\_  
 TEL: 604-443-7148  
 CELL: 604-443-7148  
 FAX: 604-443-7148  
 WITH: 604-443-7148  
 OF JAN 2016

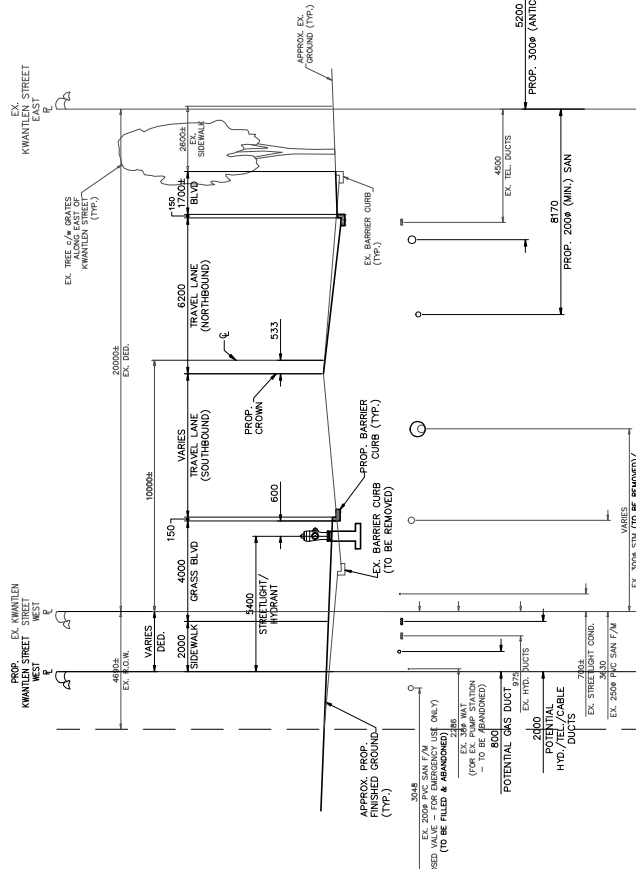
REVISIONS  
 ALL REVISIONS ARE TO BE ACCORDING TO THE REVISIONS SCHEDULE NUMBER. REVISIONS TO BE MADE TO THE DRAWING SHALL BE MADE TO THE NORTHWEST CORNER OF NO. 3 ROAD AT LANSDOWNE SHALL EXTEND ROAD  
 ELEVATION: 2.230M GEODETIC  
 City (Date) Stamp # \_\_\_\_\_  
 CONTRACT BOOK NO. # \_\_\_\_\_  
 TEL: 604-443-7148  
 CELL: 604-443-7148  
 FAX: 604-443-7148  
 WITH: 604-443-7148  
 OF JAN 2016

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES  
 #1818 - 1177 West Hastings Street, Vancouver, B.C., Canada V6Z 1K6  
 Tel: (604) 681-8431 Fax: (604) 681-8401 Email: general@aplinmartin.com  
 APLIN MARTIN DWG. No. 14-881A-SRV-SEC-12

NO.	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	W/T/M	W/T	ISSUED FOR CITY REVIEW/ APPROVAL
A	6 JAN/20	W/T/M	W/T	ISSUED FOR CITY REVIEW/ APPROVAL
1				EXCEPTION

**City of Richmond**  
 8311 152<sup>ND</sup> ST. 3<sup>RD</sup> ROAD, RICHMOND, B.C., V6Y 2E1  
**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
**ULTIMATE: KWANTLEN STREET**  
**ANTICIPATED TYPICAL X-SECTIONS**  
 5300 NO. 3 ROAD  
 CITY FILE # 14-881A-SRV-SEC-12  
 DESIGNER: M/T/R/M  
 CHECKED: RM  
 APPROVED: MY  
 DATE: AS NOTED  
 SCALE: 3:4=1  
 SHEET NO. 12 OF 23  
 MARCH 2017

EXISTING R.O.W. ALONG THE WEST SIDE OF KWANTLEN STREET (ULTIMATE) TO BE RELOCATED TO THE WEST SIDE OF KWANTLEN STREET - EXACT DETAILS TO BE DETERMINED/CONFIRMED VIA DETAILED DESIGN PROCESS.



PH - 143

TYPICAL X-SECTION: KWANTLEN STREET 'K4'  
 (ULTIMATE - FROM LANSDOWNE ROAD TO NEW E-W ROAD  
 - AT/NEAR NORTH OF RELOCATED MID-BLOCK SIGNALIZED  
 PEDESTRIAN CROSSING AT KWANTLEN STREET)  
 SCALE N:1.5

TYPICAL X-SECTION: KWANTLEN STREET 'K3'  
 (ULTIMATE - FROM LANSDOWNE ROAD TO NEW E-W ROAD  
 - AT/NEAR RELOCATED MID-BLOCK SIGNALIZED  
 PEDESTRIAN CROSSING AT KWANTLEN STREET)  
 SCALE N:1.5

**City of Richmond**  
 8511 128 ST 3 ROAD RICHMOND B.C. V6Y 2B1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
**ULTIMATE: KWANTLEN STREET**  
**ANTICIPATED: TYPICAL X-SECTIONS**

3300 NO. 3 ROAD  
 V6Y 1R4

DATE: MARCH 2017

SCALE: 3:4=1

REVISIONS			
NO.	DATE	BY	DESCRIPTION
B	22 JUN/20	MY/PM	ISSUED FOR CITY REVIEW/APPROVAL
A	6 JUN/20	MY/PM	ISSUED FOR CITY REVIEW/APPROVAL

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818 - 1177 West Hastings Street Vancouver, B.C. Canada V6E 4G9  
 Tel: (604) 681-8451 Fax: (604) 687-4061 Email: general@aplinsm.com

APLIN MARTIN DWG. NO. 14-881A-SRV-SEC-13

**REVISIONS:**

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE AND REFER TO REVISIONS SHEET NUMBER.

DRAWING SHALL BE USED TO CONSTRUCT PROJECT UNLESS NOTED OTHERWISE.

FOR THE RECORD, THE LOCATION OF ALL UTILITY LINES AND DEPTH SHALL BE DETERMINED BY THE OWNER OR THE UTILITY COMPANIES.

UTILITY LINES SHALL BE SHOWN AS FOLLOWS:  
 - EX. 3048 PPG SAN F/W (TO BE REMOVED)  
 - EX. 800 POTENTIAL GAS DUCT (TO BE REMOVED)  
 - EX. 800 HYD./TEL./CABLE DUCTS (TO BE REMOVED)  
 - EX. 2000 PPG SAN F/W (TO BE REMOVED)  
 - EX. 7270 EX. 3048 PPG SAN F/W (TO BE REMOVED)

DATE: 01/15/2020

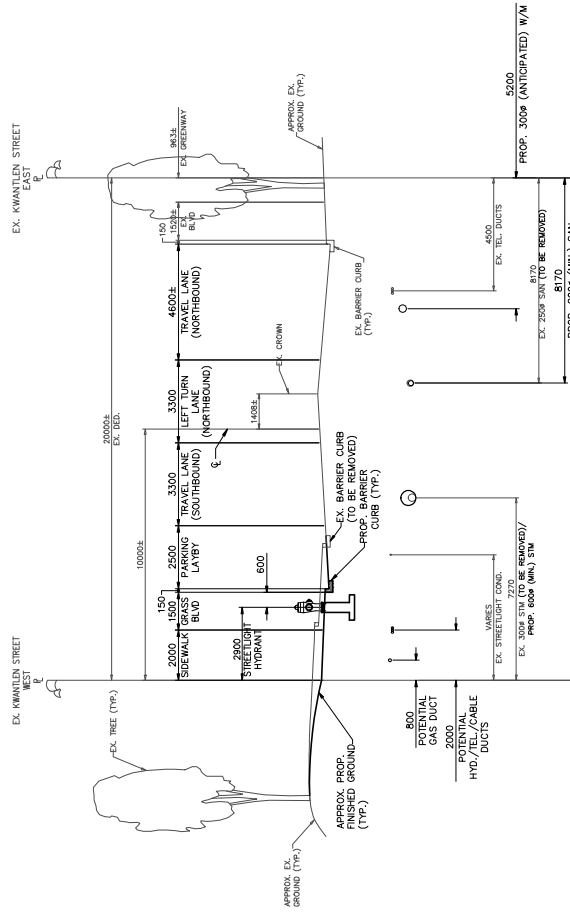
SCALE: AS SHOWN

**DESIGN SERVICES**

THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, PROVIDE FOR THEIR PROTECTION BY THE CONTRACTOR.

DATE: 01/15/2020

SCALE: AS SHOWN



TYPICAL X-SECTION: KWANTLEN STREET 'K5'  
 (ULTIMATE - FROM LANSDOWNE ROAD TO NEW E-W ROAD  
 - ALONG NORTH SECTION OF KWANTLEN STREET)  
 SCALE: N.T.S.

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED THROUGH THE DESIGN PROCESS.

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR LOCATION TO BE SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:

TEL: 604-273-5800  
 CELL: 604-273-5800  
 FAX: 604-273-5800

NOTE: ALL GAS SERVICES TO BE COMPLETED BY THE CONTRACTOR.

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBERS. EXISTING ELEVATIONS ARE TO RICHMOND BENCHMARK NUMBERS. ALL DIMENSIONS ARE TO RICHMOND BENCHMARK. DIMENSIONS TO THE NORTHWEST CORNER OF THE INTERSECTION OF NO. 3 ROAD AT LANSDOWNE SHALL BE OBTAINED FROM:

TEL: 604-273-5800  
 CELL: 604-273-5800  
 FAX: 604-273-5800

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818 - 1177 West Hastings Street, Vancouver, B.C. Canada V6E 4K9  
 Tel: (604) 681-8431 Fax: (604) 681-8431 Email: general@aplinmartin.com

APLIN MARTIN DIV. NO. 14-881A-SRV-SEC-14

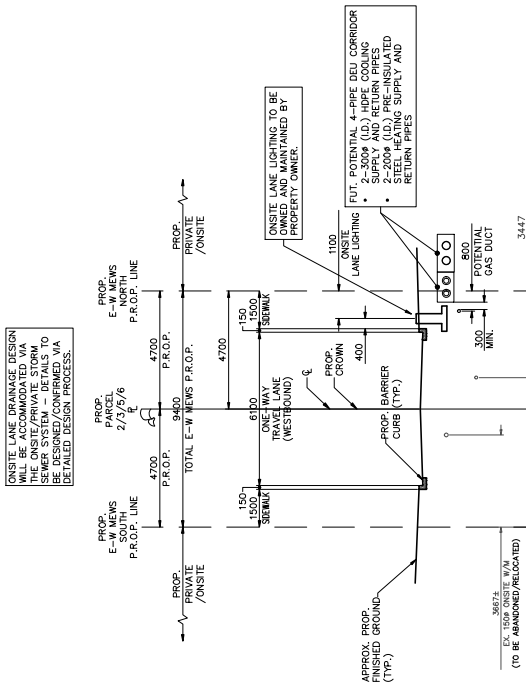
NO.	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	M/PM	MF	ISSUED FOR CITY REVIEW/ APPROVAL
A	6 JAN/20	M/PM	MF	ISSUED FOR CITY REVIEW/ APPROVAL

**City of Richmond**  
 8311 152<sup>ND</sup> ST. 3<sup>RD</sup> ROAD, RICHMOND, B.C., V6Y 2E1

TITLE: PRELIMINARY CONCEPTUAL SERVICING PLAN  
 ULTIMATE - KWANTLEN STREET  
 ANTICIPATED TYPICAL X-SECTIONS

5300 NO. 3 ROAD  
 CITY FILE # 54-14-111111

DESIGNER	MY/PM	DATE	06-11-2017
DRAWN	RM	SCALE	AS NOTED
CHECKED	MY	DATE	MARCH 2017
APPROVED	MY	DATE	03-14-2017



TYPICAL X-SECTION - EAST-WEST MEWS 'X1' (ULT.)  
 (ULTIMATE - FROM COONEY ROAD TO HAZELBRIDGE WAY)  
 SCALE: N.T.S.

**City of Richmond**  
 8311 W. 3 ROAD RICHMOND, B.C. V6Y 2E1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
 ULTIMATE - EAST-WEST MEWS  
 ANTICIPATED TYPICAL X-SECTIONS

5300 No. 3 ROAD  
 CITY FILE # 34-4-8

DESIGNER	MY/RM	DATE	06/01/2017
ISSUED BY	RM	DATE	06/01/2017
REVISIONS	MY	DATE	06/01/2017
APPROVED BY	MY	DATE	06/01/2017

NO.	DATE	BY	CHK	DESCRIPTION
B	22 JUN/20	MY/RM	MY	ISSUED FOR CITY REVIEW/APPROVAL
A	6 JAN/20	MY/RM	MY	ISSUED FOR CITY REVIEW/APPROVAL

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818 - 1177 West Hastings Street, Vancouver, B.C. Canada, V6E 4K3  
 Tel: (604) 679-8431 Fax: (604) 679-8061 Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-15

**REVISIONS**

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBERS. THE LOCATION OF THE BENCHMARK IS SHOWN ON THE PLAN. THE LOCATION OF THE BENCHMARK IS SHOWN ON THE PLAN. THE LOCATION OF THE BENCHMARK IS SHOWN ON THE PLAN.

ELEVATION: 2.233M GEODETIC

CITY: RICHMOND, B.C.

PROJECT # \_\_\_\_\_

ACCOUNT # \_\_\_\_\_

FIELD BOOK # \_\_\_\_\_

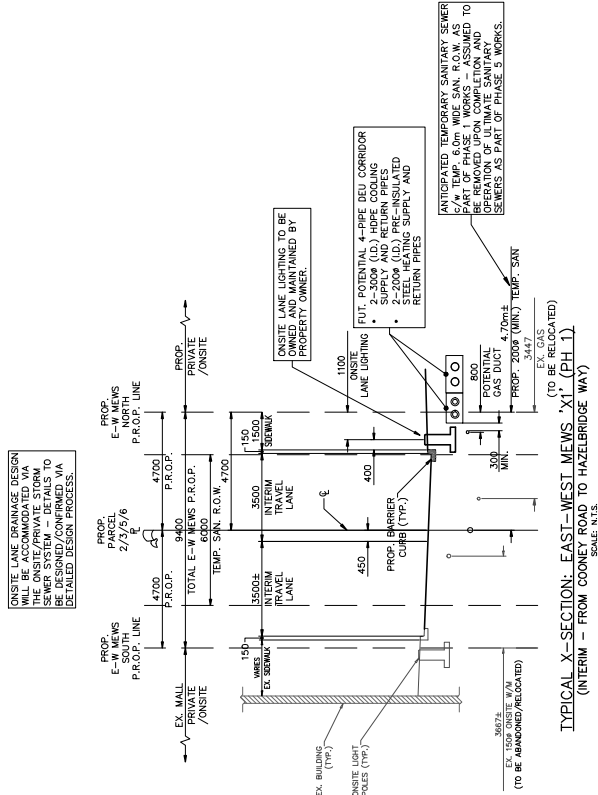
CONTRACT BOOK # \_\_\_\_\_

**DISCLAIMER**

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR LOCATION TO BE IDENTIFIED BY A REGISTERED PROFESSIONAL ENGINEER OR OTHER QUALIFIED PERSON. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE CITY OF RICHMOND.

B.C. I.C.A.  
 TELEPHONE: 1-800-774-8988  
 CELLULAR: 7888

NOTE: B.C. GAS SERVICE IS BUILT NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.



TYPICAL X-SECTION: EAST-WEST MEWS 'X1' (PH 1)  
(N-TERM - FROM COONEY ROAD TO HAZELBRIDGE WAY)

**City of Richmond**  
8311 W. 3 ROAD RICHMOND, B.C. V6Y 2E1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN FOR THE EAST-WEST MEWS ANTICIPATED TYPICAL X-SECTIONS**

5300 No. 3 ROAD  
CITY FILE # 34-4-4-B

ISSUED	MY/17M	DATE	22 JAN/20
REVISED	RM	DATE	6 JAN/20
APPROVED	MY	DATE	22 JAN/20
DESIGNED	MY	DATE	6 JAN/20
DRAWN	MY	DATE	22 JAN/20
CHECKED	MY	DATE	6 JAN/20
APPROVED	MY	DATE	22 JAN/20

NO.	DATE	BY	CHK.	DESCRIPTION
B	22 JAN/20	MY/17M	MY	ISSUED FOR CITY REVIEW/APPROVAL
A	6 JAN/20	MY/17M	MY	ISSUED FOR CITY REVIEW/APPROVAL

**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818-1177 West Hastings Street, Vancouver, B.C. Canada, V6E 4K3  
Tel: (604) 678-8431 Fax: (604) 678-8061 Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-16

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER: 2233041.000. THE DATUM AND BENCHMARK NUMBER IS RICHMOND GEODETIC BENCHMARK NUMBER 2233041.000. THE BENCHMARK IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF NO. 3 ROAD AT LANGSOME MALL ENTRANCE ROAD.

ELEVATION: 2.233041 GEODETIC

FIELD BOOK # \_\_\_\_\_

CITY FILE # \_\_\_\_\_

PROJECT # \_\_\_\_\_

ACCOUNT # \_\_\_\_\_

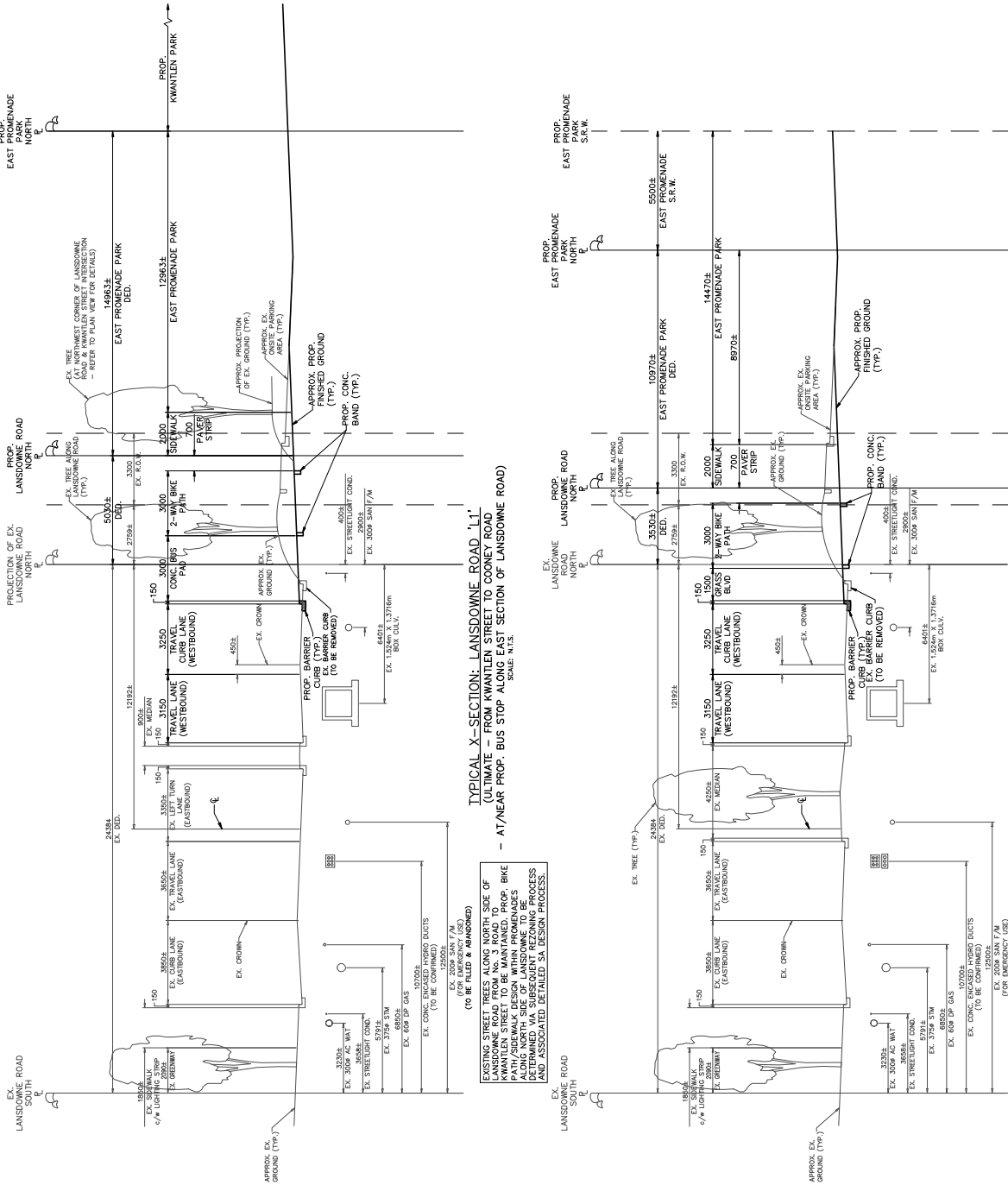
DESIGN SERVICES

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR LOCATION TO BE SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:

B.C. TEL: 1-800-774-8888  
CELLULAR: 7888

NOTE: B.C. GAS REQUIRES 15 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE PROVIDED TO THE CLIENT VIA DETAILED DESIGN PROCESS.



**TYPICAL X-SECTION: LANSDOWNE ROAD '1.1'**  
 (ULTIMATE - FROM KWANTLEN STREET TO COONEY ROAD)  
 - AT/NEAR PROP. BUS STOP ALONG EAST SECTION OF LANSDOWNE ROAD  
 SCALE: N.T.S.

**TYPICAL X-SECTION: LANSDOWNE ROAD '1.2'**  
 (ULTIMATE - FROM KWANTLEN STREET TO COONEY ROAD)  
 - ALONG MID-SECTION OF LANSDOWNE ROAD  
 SCALE: N.T.S.

EXISTING STREET TREES ALONG NORTH SIDE OF LANSDOWNE ROAD FROM NO. 3 ROAD TO BUS STOP ALONG EAST SECTION OF LANSDOWNE ROAD TO BE REMOVED. REPLACEMENTS TO BE PROVIDED AS PER THE TRAFFIC, LANDSCAPE AND ASSOCIATED DETAILED SA DESIGN PROCESS.  
 (TO BE FILLED & ABANDONED)

EXISTING STREET TREES ALONG SOUTH SIDE OF LANSDOWNE ROAD FROM NO. 3 ROAD TO BUS STOP ALONG EAST SECTION OF LANSDOWNE ROAD TO BE REMOVED. REPLACEMENTS TO BE PROVIDED AS PER THE TRAFFIC, LANDSCAPE AND ASSOCIATED DETAILED SA DESIGN PROCESS.  
 (TO BE FILLED & ABANDONED)

**City of Richmond**  
 8511 HWY 3 ROAD RICHMOND B.C. V6V 2E1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
**ULTIMATE LANSDOWNE ROAD**  
**ANTICIPATED TYPICAL X-SECTIONS**

5300 No. 3 ROAD  
 CITY FILE # 54-1000000

REV. NO. 1 MARCH 2017  
 REV. NO. 2 MARCH 2017  
 REV. NO. 3 3-2-4-B  
 REV. NO. 4 3-2-4-B

APPROVAL		DATE	BY	CHK	DATE
ISSUED FOR CITY REVIEW/APPROVAL	APPROVED FOR CITY REVIEW/APPROVAL	22 JUN/20	W/T/M	MF	MF
ISSUED FOR CITY REVIEW/APPROVAL	ISSUED FOR CITY REVIEW/APPROVAL	6 JUN/20	W/T/M	MF	MF
DATE					

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

#1818-1177 West Hastings Street Vancouver, B.C. Canada V6K 4G6  
 Tel: (604) 278-8451 Fax: (604) 697-8061 Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-4881A-SRV-SEC-17

REVISIONS:

ALL DRAWINGS ARE TO ACCORDANCE WITH THE ENGINEERING PROFESSIONAL REGULATIONS AND TO BE USED IN ACCORDANCE WITH THE ENGINEERING PROFESSIONAL REGULATIONS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CALCULATION ONLY AND DOES NOT EXTEND TO THE CONSTRUCTION OR THE OPERATION OF THE WORK OR TO THE SAFETY OF THE WORK OR TO THE LIABILITY OF THE CONTRACTOR.

ELEVATION 2.230m GEODETIC

CITY/TOWN/REGIONAL PLAN NO. \_\_\_\_\_ FEED BACK # \_\_\_\_\_

PROJ. NO. \_\_\_\_\_ TRACED/PROJECT BY \_\_\_\_\_ ACCOUNT # \_\_\_\_\_

DATE: \_\_\_\_\_ CONTRACTOR'S NAME: \_\_\_\_\_

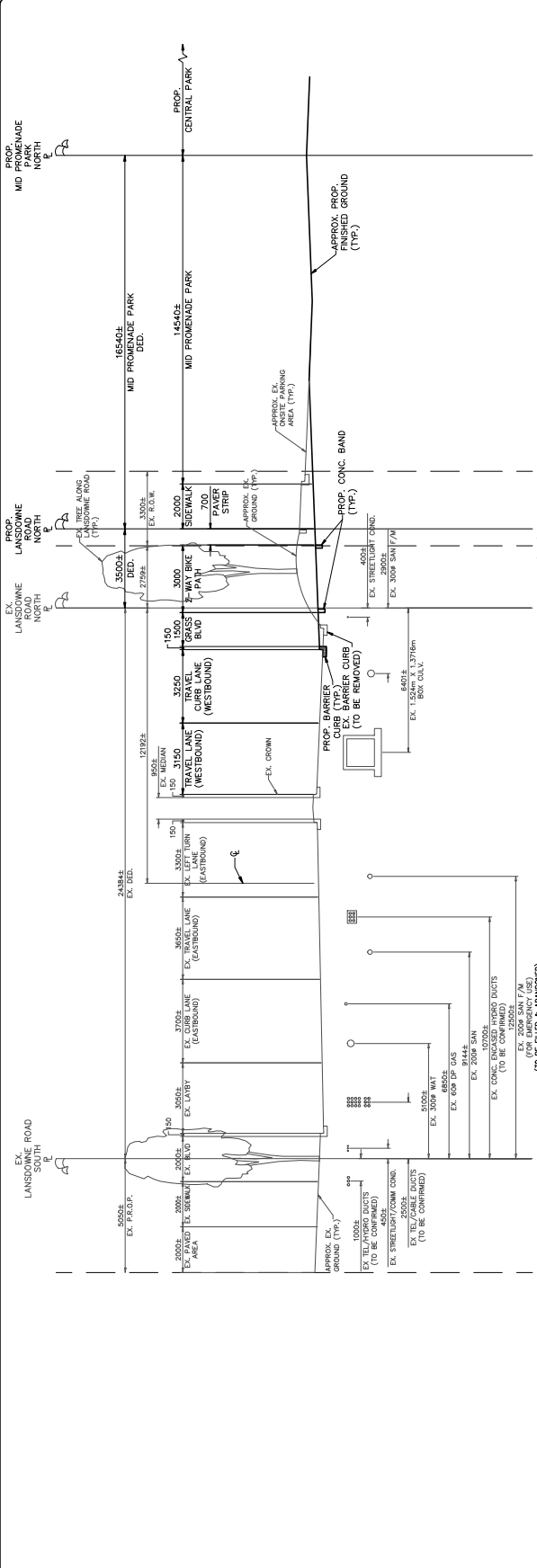
THE DESIGNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SUITABLE LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR LOCATION TO BE SHOWN ON THE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM \_\_\_\_\_

DESIGNER'S SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

FOR EMERGENCY USE ONLY

FOR EMERGENCY USE ONLY

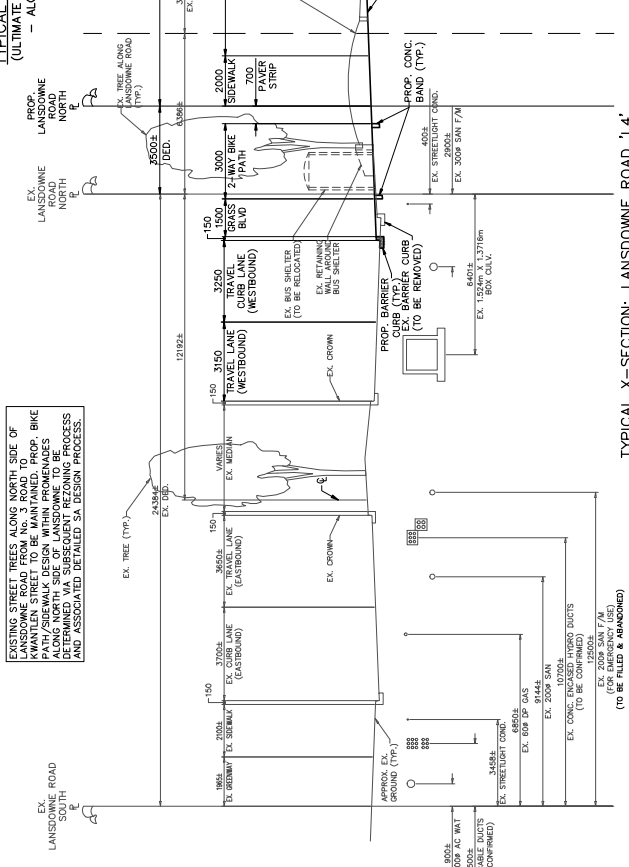
FOR EMERGENCY USE ONLY



EXISTING STREET TREES ALONG NORTH SIDE OF LANSDOWNE ROAD FROM ANG. 3 ROAD TO PROP. BIKE PATH/SIDEWALK DESIGN WITHIN PROMENADES ALONG NORTH SIDE OF LANSDOWNE TO BE PRESERVED AND ASSOCIATED DETAILED SA DESIGN PROCESS (TO BE FALIP & ABANDONED)

EXISTING STREET TREES ALONG SOUTH SIDE OF LANSDOWNE ROAD FROM ANG. 3 ROAD TO PROP. BIKE PATH/SIDEWALK DESIGN WITHIN PROMENADES ALONG SOUTH SIDE OF LANSDOWNE TO BE PRESERVED AND ASSOCIATED DETAILED SA DESIGN PROCESS (TO BE FALIP & ABANDONED)

**TYPICAL X-SECTION: LANSDOWNE ROAD '1.4'**  
 (ULTIMATE - FROM COONEY ROAD TO HAZELBRIDGE WAY)  
 SCALE: N.T.S.



X-SECTIONS SHOWN ARE PRELIMINARY CONCEPTUAL. ACTUAL X-SECTIONS TO BE CONFIRMED VIA DETAILED DESIGN PROCESS

**City of Richmond**  
 8511 W. 3 RD. RICHMOND, B.C. V6Y 2L1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
 ULTIMATE - LANSDOWNE ROAD  
 ANTICIPATED TYPICAL X-SECTIONS

3300 No. 3 ROAD  
 CITY FILE #. SA 14-11111

DESIGNER	MY/PM
CLIENT	RM
DATE	AS NOTED
PROJECT NO.	3-1-4-B
DATE	MARCH 2017
SCALE	1:10 OF 23

NO.	DATE	BY	CHK	DESCRIPTION
A	6 JUN/20	W/PM	MF	ISSUED FOR CITY REVIEW/APPROVAL
B	22 JUN/20	W/PM	MF	ISSUED FOR CITY REVIEW/APPROVAL

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818-1177 West Hastings Street, Vancouver, B.C. Canada V6Z 1K6  
 Tel: (604) 674-4451 Fax: (604) 677-0061 Email: general@aplincan.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-18

ALL ELEVATIONS ARE TO BE CONFIRMED AND REFER TO RELEVANT BENCHMARK NUMBERS. LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, APPROVED FOR THEIR PROPOSED POSITION. ALL SERVICE LINES LOCATIONS MAY BE SHOWN FROM NORTHWEST CORNER OF NO. 3 ROAD AT LANSDOWNE SHALL EXTEND TO ROAD CENTERLINE.

ELEVATION: 2.230m GEODETIC

CITY FILE NUMBER: \_\_\_\_\_

PROJECT / ACCOUNT # \_\_\_\_\_

DATE: \_\_\_\_\_

CONTRACT NUMBER: \_\_\_\_\_

THE ENGINEER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, APPROVED FOR THEIR PROPOSED POSITION. ALL SERVICE LINES LOCATIONS MAY BE SHOWN FROM NORTHWEST CORNER OF NO. 3 ROAD AT LANSDOWNE SHALL EXTEND TO ROAD CENTERLINE.

DATE: \_\_\_\_\_

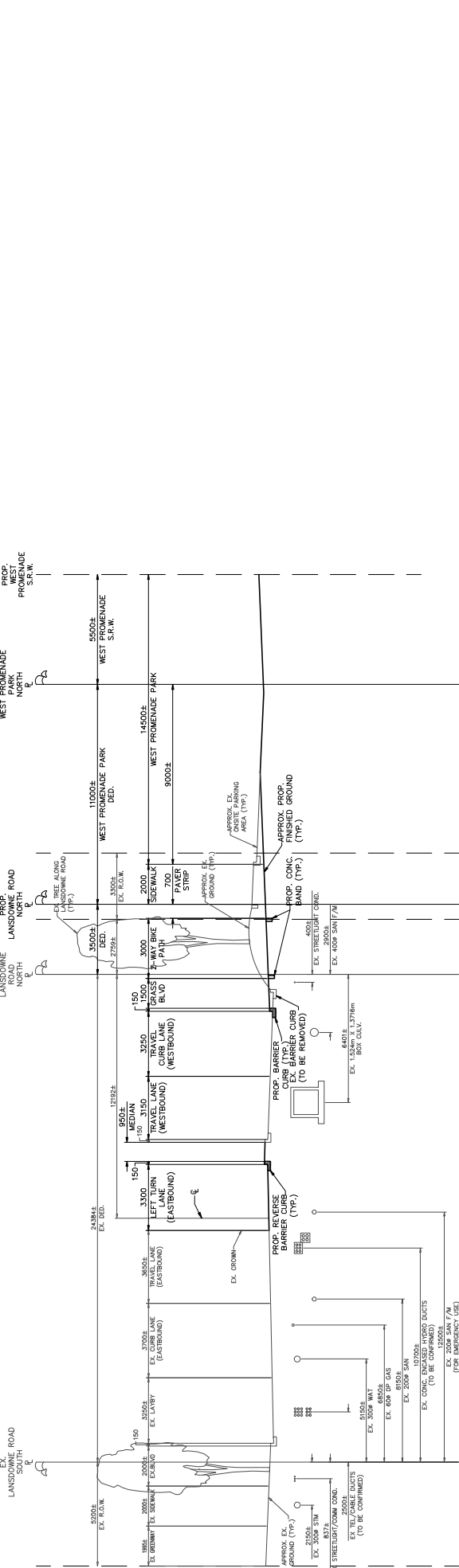
TELEPHONE: (604) 674-4451

CELLULAR: (604) 677-0061

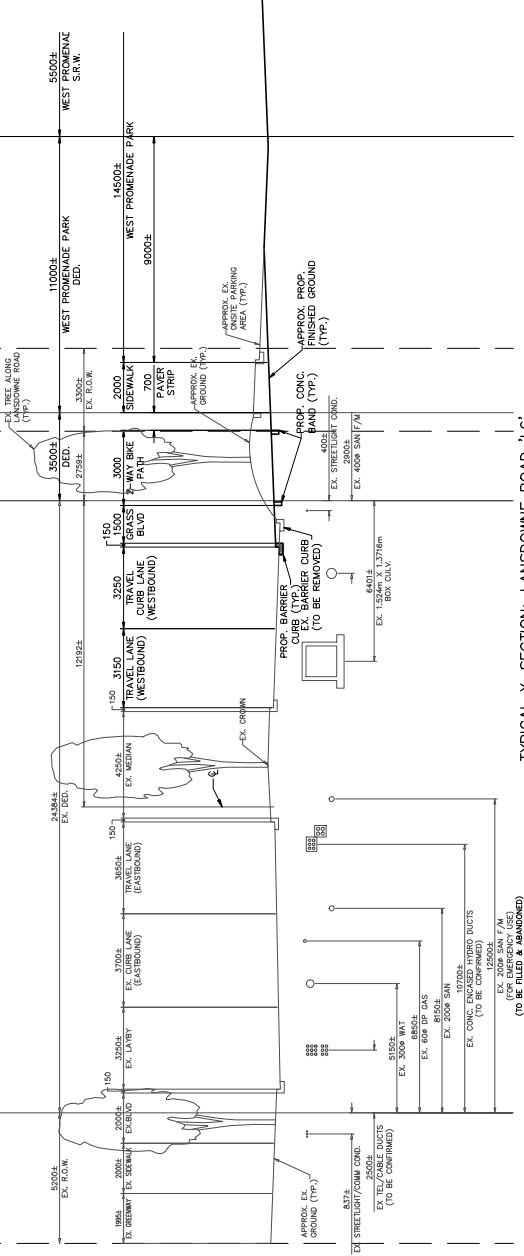
WWW: www.aplinmartin.com

NOTE: E.C. HAS RECEIVED 10 DAYS NOTICE FROM THE CONTRACTOR OF WORK.





TYPICAL X-SECTION: LANSDOWNE ROAD 'L5' (ULTIMATE - FROM HAZELBRIDGE WAY TO No. 3 ROAD - ALONG EAST SECTION OF LANSDOWNE ROAD)



TYPICAL X-SECTION: LANSDOWNE ROAD 'L6' (ULTIMATE - FROM HAZELBRIDGE WAY TO No. 3 ROAD - ALONG MID-SECTION OF LANSDOWNE ROAD)

**City of Richmond**  
8311 152<sup>ND</sup> ST. ROAD, RICHMOND, B.C., V6Y 2E1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
**ULTIMATE - LANSDOWNE ROAD**  
**ANTICIPATED TYPICAL X-SECTIONS**

5300 No. 3 ROAD  
CITY FILE #. SA. 14-881A-1

DATE: 2017  
ISSUED: MARCH 2017  
REVISED: 3.4-4-8  
SCALE: 1:10

DESIGNED BY: M/T/R/M  
CHECKED BY: RM  
APPROVED BY: MY

NO.	DATE	BY	CHK.	DESCRIPTION
A	6 JUN/20	M/T/R/M	MY	ISSUED FOR CITY REVIEW/APPROVAL
B	22 JUN/20	M/T/R/M	MY	ISSUED FOR CITY REVIEW/APPROVAL

**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818-1177 West Hastings Street, Vancouver, B.C., Canada, V6Z 4K6  
Tel: (604) 674-8434 Fax: (604) 674-8061 Email: general@aplincan.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-19

REVISIONS:

ALL DRAWINGS ARE TO ACCORD WITH DATA AND REFER TO RELEVANT DRAWING NUMBERS. UTILITIES SHALL BE SHOWN AS NOTED AND REFER TO RELEVANT DRAWING NUMBERS. UTILITIES SHALL BE SHOWN AS NOTED AND REFER TO RELEVANT DRAWING NUMBERS.

DATE: 2.23.2016 GEOMETRIC

FIELD BOOK # \_\_\_\_\_

TRUCK / PROJECT # \_\_\_\_\_

ACCOUNT # \_\_\_\_\_

CITY ENGINEER / DESIGNER # \_\_\_\_\_

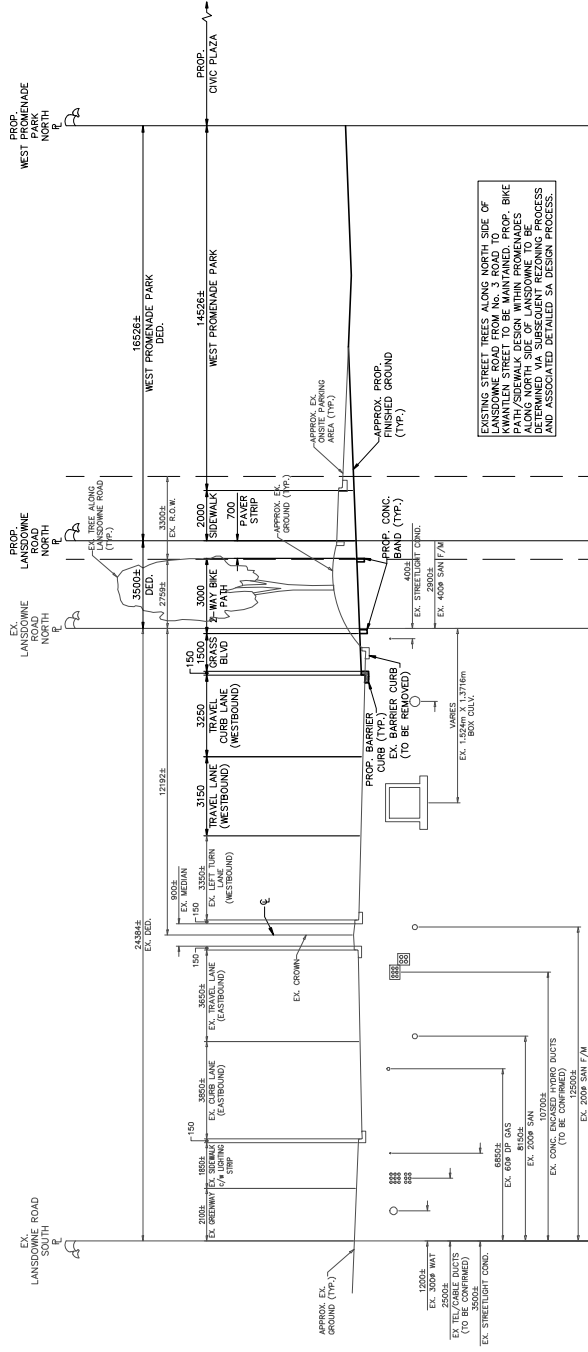
CONTRACT BOOK # \_\_\_\_\_

X-SECTIONS SHOWN ARE PRELIMINARY CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED VIA SUBSEQUENT REZONING PROCESS AND ASSOCIATED DETAILED SA DESIGN PROCESS.

THE DESIGNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY APPROVED FOR THEIR LOCATION AND DEPTH SHALL BE SHOWN. ALL UTILITIES SHALL BE SHOWN AS NOTED ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE DESIGNER.

ALL UTILITIES ARE TO BE SHOWN AS NOTED AND REFER TO RELEVANT DRAWING NUMBERS. UTILITIES SHALL BE SHOWN AS NOTED AND REFER TO RELEVANT DRAWING NUMBERS. UTILITIES SHALL BE SHOWN AS NOTED AND REFER TO RELEVANT DRAWING NUMBERS.

DATE: 1.20.2016  
TEL: (604) 674-8434  
CELL: (604) 674-8061  
FAX: (604) 674-8061  
WWW: WWW.APLINCAN.COM



TYPICAL X-SECTION: LANSOWNE ROAD 'L7'  
 (ULTIMATE - FROM HAZELBRIDGE WAY TO NO. 3 ROAD  
 - ALONG WEST SECTION OF LANSOWNE ROAD)  
 SCALE: N.T.S.

PH - 150

X-SECTIONS SHOWN ARE PRELIMINARY/CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED THROUGH THE DESIGN PROCESS.

DESIGN SERVICES  
 THE DESIGNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, AVOIDANCE FOR THEIR PROTECTION. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE CITY OF RICHMOND.

DATE: 1-20-2020  
 DRAWING NO: 150-171-008  
 SHEET NO: 150-171-008  
 PROJECT NO: 150-171-008  
 CITY OF RICHMOND  
 150-171-008  
 150-171-008  
 150-171-008

REVISIONS  
 ALL REVISIONS ARE TO BE MADE IN ACCORDANCE WITH THE RICHMOND STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. REVISIONS TO BE MADE IN ACCORDANCE WITH THE RICHMOND STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. REVISIONS TO BE MADE IN ACCORDANCE WITH THE RICHMOND STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. REVISIONS TO BE MADE IN ACCORDANCE WITH THE RICHMOND STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION.

ELEVATION: 2.230m GEODETIC  
 FIELD BOOK #  
 DATE: 1-20-2020  
 DRAWING NO: 150-171-008  
 SHEET NO: 150-171-008  
 PROJECT NO: 150-171-008  
 CITY OF RICHMOND  
 150-171-008  
 150-171-008  
 150-171-008

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING INTERIORS

#1818 - 1177 West Hastings Street, Vancouver, B.C., Canada, V6E 4K6  
 Tel: (604) 681-4351, Fax: (604) 681-4351, Email: general@aplinmartin.com

APLIN MARTIN INC. No. 14-881A-SRV-SEC-20

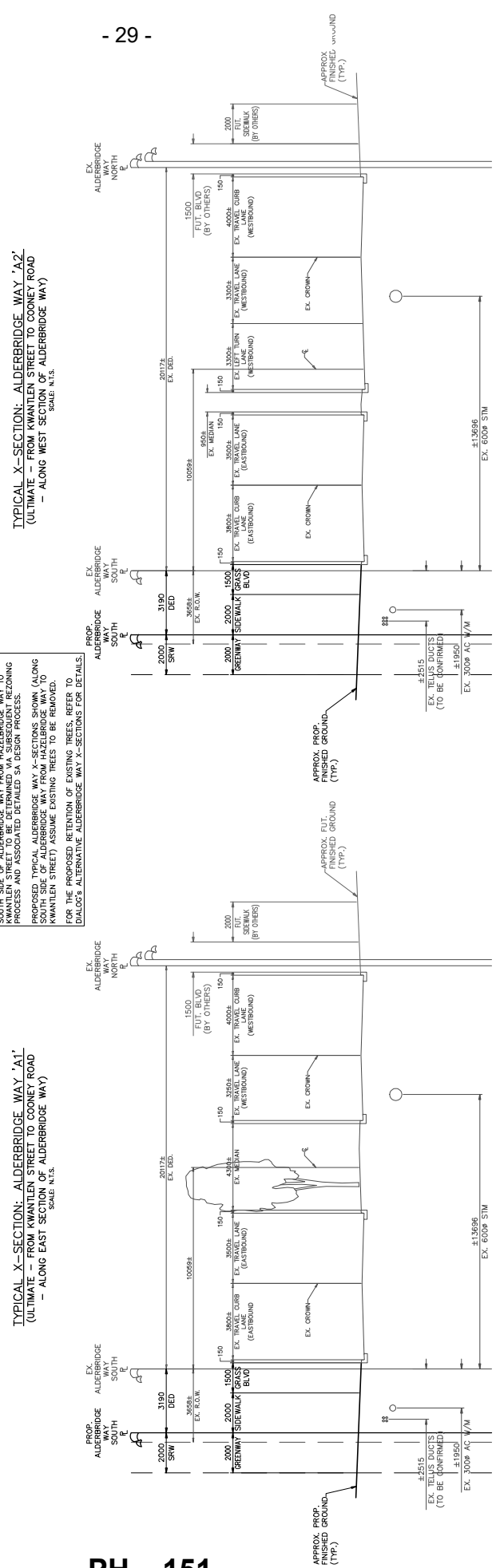
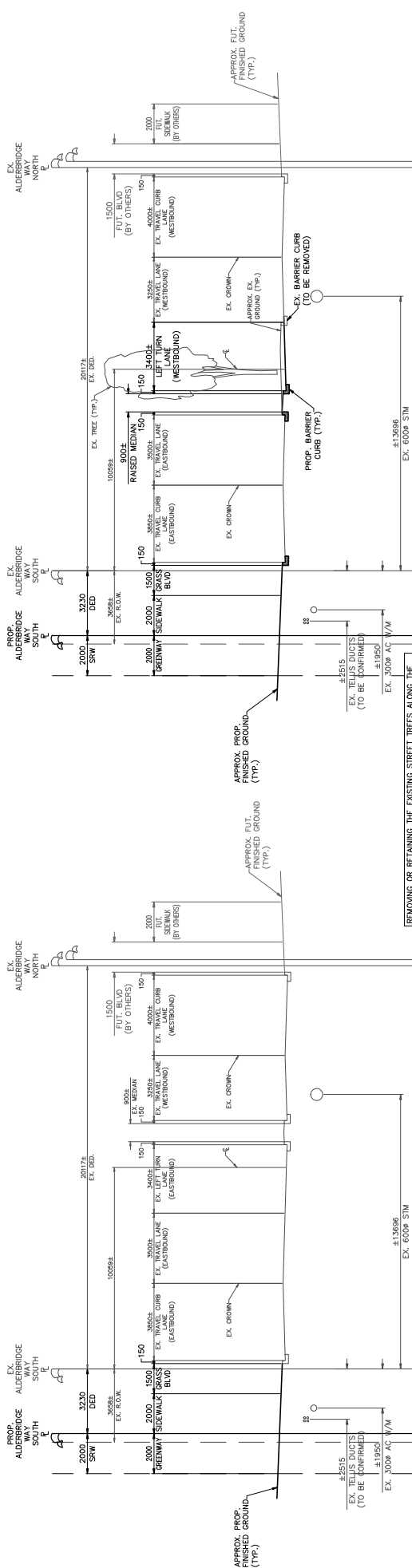
NO.	DATE	BY	CHK	DESCRIPTION
A	6 JAN/20	WJ/WM	MF	ISSUED FOR CITY REVIEW/ APPROVAL
B	22 JUN/20	WJ/WM	MF	ISSUED FOR CITY REVIEW/ APPROVAL

**City of Richmond**  
 8311 152<sup>ND</sup> ST. 3<sup>RD</sup> FLOOR, RICHMOND, B.C. V6Y 2E1

TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
 ULTIMATE - FROM HAZELBRIDGE WAY TO NO. 3 ROAD  
 ALONG WEST SECTION OF LANSOWNE ROAD  
 ANTICIPATED TYPICAL X-SECTIONS

5300 NO. 3 ROAD  
 CITY FILE # 150-171-008

DATE: 1-20-2020  
 DRAWN: WJ/WM  
 CHECKED: MF  
 DESIGNED: MF  
 PROJECT: 150-171-008  
 SHEET: 150-171-008  
 TOTAL SHEETS: 20 OF 23



REMOVING OR RETAINING THE EXISTING STREET TREES ALONG THE SOUTH SIDE OF ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET SHALL BE DETERMINED BY THE ENGINEERING PROCESS AND ASSOCIATED DETAILED SA DESIGN PROCESS. PROPOSED TYPICAL ALDERBRIDGE WAY X-SECTIONS SHOWN ALONG SOUTH SIDE OF ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANTLEN STREET ASSUME EXISTING TREES TO BE REMOVED. FOR THE PROPOSED RETENTION OF EXISTING TREES, REFER TO DIALOG'S ALTERNATIVE ALDERBRIDGE WAY X-SECTIONS FOR DETAILS.

X-SECTIONS SHOWN ARE PRELIMINARY CONCEPTUAL ACTUAL X-SECTIONS TO BE DETERMINED BY THE ENGINEERING PROCESS.

**City of Richmond**  
 8511 126th St. S. Road, Richmond, B.C., V6V 2E1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN**  
**ULTIMATE - ALDERBRIDGE WAY**  
**ANTICIPATED TYPICAL X-SECTIONS**

3300 No. 3 Road  
 CITY FILE # 34-11-11111

DATE	BY	CHKD	APP'D
MARCH 2017	RM	MY	MY
REV. NO.	REV. BY	REV. DATE	REV. DESCRIPTION
3.1-4-8			

NO.	DATE	BY	CHKD	APP'D	DESCRIPTION
B	22 JUN/20	W/T/M	W/T		ISSUED FOR CITY REVIEW/APPROVAL
A	6 JUN/20	W/T/M	W/T		ISSUED FOR CITY REVIEW/APPROVAL

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES

#1818-1177 West Hastings Street, Vancouver, B.C. Canada, V6Z 4K6  
 Tel: (604) 679-8431 Fax: (604) 679-8061 Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-21

ALL ELEVATIONS ARE TO EXISTING UNLESS NOTED OTHERWISE. ELEVATIONS OF ALL SERVICE LINES, AND WHERE NECESSARY, ARE TO BE SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE NORTHWEST CORNER OF NO. 3 ROAD AT LANSBORNE SMALL ENTRANCE ROAD.

ELEVATION: 2.230m GEODETIC

CITY FILE NO. 34-11-11111

DATE: 2017

PROJECT: 14-881A-SRV-SEC-21

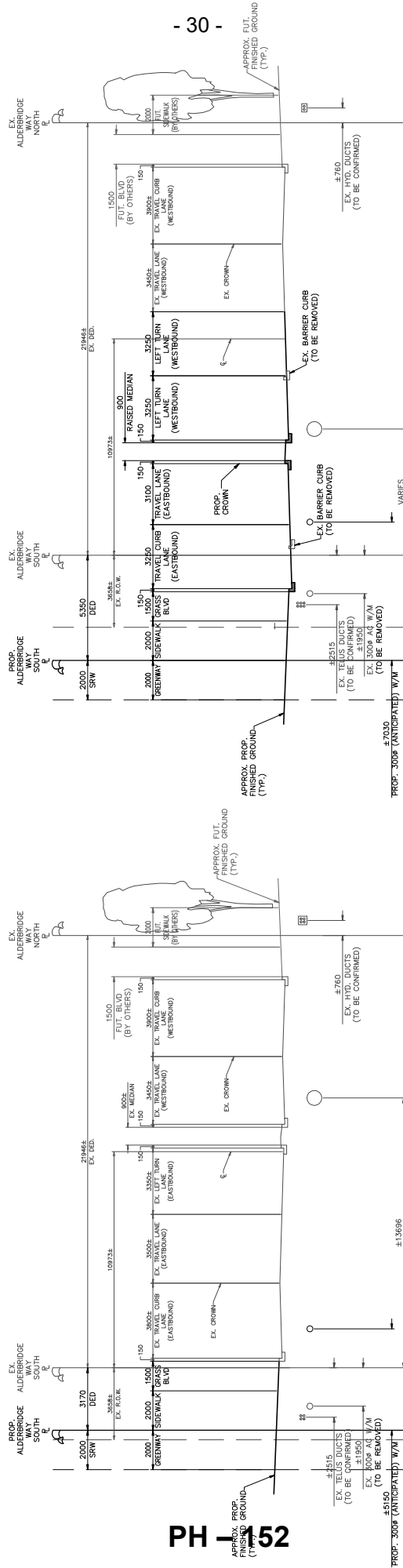
ACCOUNT: 14-881A-SRV-SEC-21

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, ARE TO BE SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE NORTHWEST CORNER OF NO. 3 ROAD AT LANSBORNE SMALL ENTRANCE ROAD.

DATE: 2017

PROJECT: 14-881A-SRV-SEC-21

ACCOUNT: 14-881A-SRV-SEC-21



TYPICAL X-SECTION: ALDERBRIDGE WAY 'AS'  
(ULTIMATE - FROM HAZELBRIDGE WAY TO NO. 3 ROAD  
- ALONG EAST SECTION OF ALDERBRIDGE WAY)  
SCALE: N.T.S.

TYPICAL X-SECTION: ALDERBRIDGE WAY 'AS'  
(ULTIMATE - FROM HAZELBRIDGE WAY TO NO. 5 ROAD  
- ALONG WEST SECTION OF ALDERBRIDGE WAY)  
SCALE: N.T.S.

REVISIONS TO REMAIN: THE EXISTING STREET TREES ALONG THE SOUTH SIDE OF ALDERBRIDGE WAY FROM HAZELBRIDGE TO KWANLEN STREET TO BE DETERMINED VIA SUBSEQUENT REZONING PROCESS AND ASSOCIATED DETAILED SA DESIGN PROCESS. PROPOSED TYPICAL ALDERBRIDGE WAY X-SECTIONS SHOWN (ALONG SOUTH SIDE OF ALDERBRIDGE WAY FROM HAZELBRIDGE WAY TO KWANLEN STREET) ASSUME EXISTING TREES TO BE REMOVED. FOR THE PROPOSED RETENTION OF EXISTING TREES, REFER TO DIALOG'S ALTERNATIVE ALDERBRIDGE WAY X-SECTIONS FOR DETAILS.

X-SECTIONS SHOWN ARE PRELIMINARY/ CONCEPTUAL. ACTUAL X-SECTIONS TO BE DETERMINED VIA DETAILED DESIGN PROCESS.

ALL ELEVATIONS ARE TO EXISTING DATA AND REFER TO EXISTING BENCHMARK NUMBERS. LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, ARE SHOWN ON THESE PLANS. A SET OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE NORTHWEST CORNER OF NO. 3 ROAD AT LANSBORNE SMALL ENTRANCE ROAD.

ELEVATION: 2.230M GEODETIC  
FIELD BOOK # \_\_\_\_\_  
CITY FILE # \_\_\_\_\_  
CONTRACT BOOK # \_\_\_\_\_

DATE: 2017  
PROJECT # \_\_\_\_\_  
ACCOUNT # \_\_\_\_\_

DESIGN SERVICES  
THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, ARE SHOWN ON THESE PLANS. A SET OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM THE NORTHWEST CORNER OF NO. 3 ROAD AT LANSBORNE SMALL ENTRANCE ROAD.

DATE: 2017  
PROJECT # \_\_\_\_\_  
ACCOUNT # \_\_\_\_\_

**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

#1818-1177 West Hastings Street, Vancouver, B.C., Canada V6E 4K3  
Tel: (604) 678-8431 Fax: (604) 678-4061 Email: general@aplinmartin.com

APLIN MARTIN DIV. NO. 14-881A-SRV-SEC-22

NO.	DATE	BY	CHK.	DESCRIPTION
B	22 JUN/20	M/T/M	M/T	ISSUED FOR CITY REVIEW/ APPROVAL
A	6 JAN/20	M/T/M	M/T	ISSUED FOR CITY REVIEW/ APPROVAL

**City of Richmond**  
8311 NO. 3 ROAD, RICHMOND, B.C., V6Y 2E1

TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
ULTIMATE ALDERBRIDGE WAY  
ANTICIPATED TYPICAL X-SECTIONS

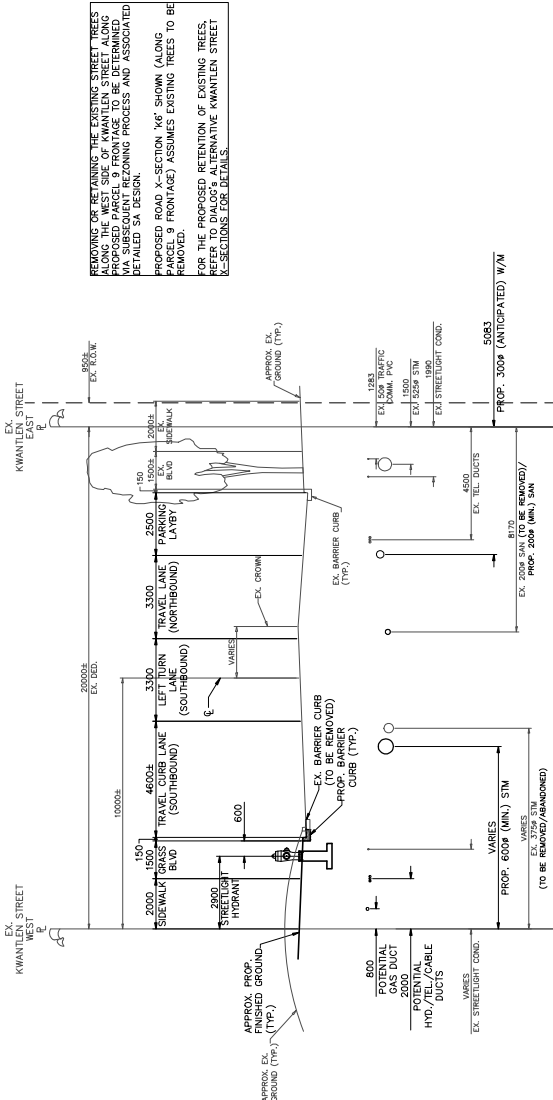
CITY FILE # 31-0000  
5300 NO. 3 ROAD

DATE: 2017  
PROJECT # AS NOTED  
ACCOUNT # 31-4-4-B  
DATE: 2017  
MARCH 2017  
PAGE 22 OF 23

REMOVING OR RETAINING THE EXISTING STREET TREES ALONG THE WEST SIDE OF KWANTLEN STREET ALONG PROPOSED PARCEL 9 FRONTAGE TO BE DETERMINED BY THE CITY ENGINEER AND THE CONSULTANT'S DETAILED SA DESIGN.

PROPOSED ROAD X-SECTION 'K6' SHOWN (ALONG PARCEL 9 FRONTAGE) ASSUMES EXISTING TREES TO BE REMOVED.

FOR THE PROPOSED RETENTION OF EXISTING TREES, REFER TO DIALOG'S ALTERNATIVE KWANTLEN STREET X-SECTIONS FOR DETAILS.

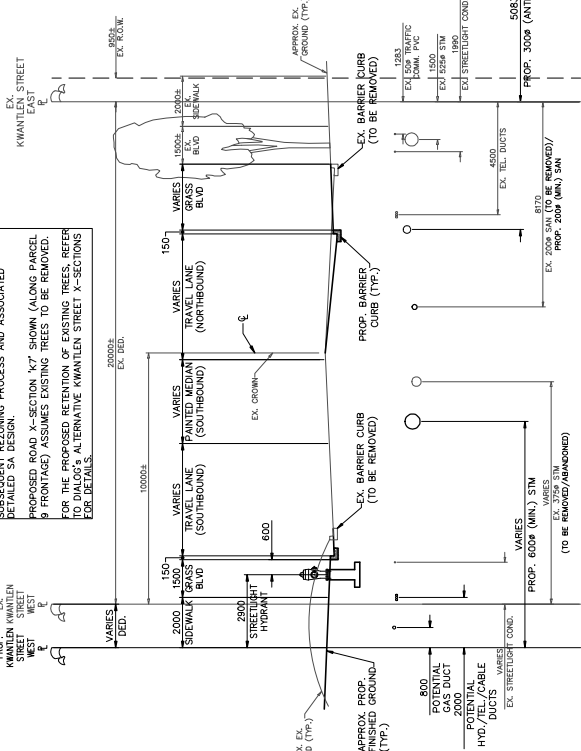


TYPICAL X-SECTION: KWANTLEN STREET 'K6'  
 (ULTIMATE - FROM NEW E-W ROAD TO ALDERBRIDGE WAY  
 - ALONG SOUTH SECTION OF KWANTLEN STREET)

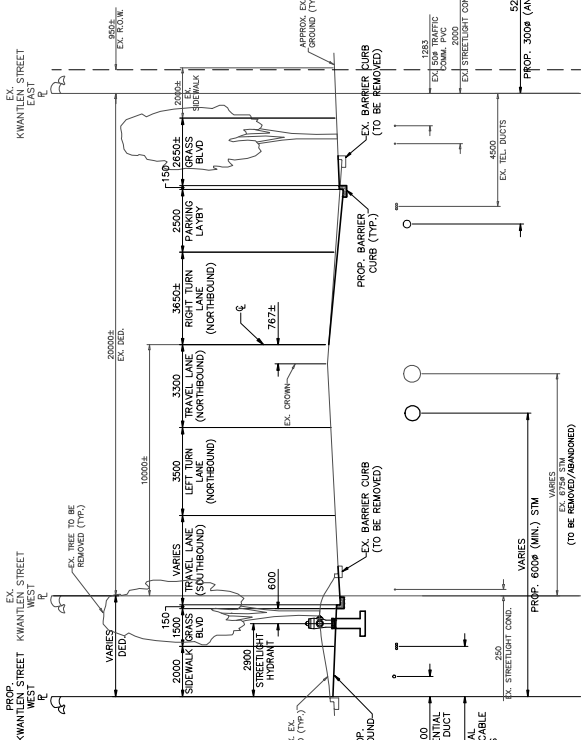
REMOVING OR RETAINING THE EXISTING STREET TREES ALONG THE WEST SIDE OF KWANTLEN STREET ALONG PROPOSED PARCEL 9 FRONTAGE TO BE DETERMINED BY THE CITY ENGINEER AND THE CONSULTANT'S DETAILED SA DESIGN.

PROPOSED ROAD X-SECTION 'K7' SHOWN (ALONG PARCEL 9 FRONTAGE) ASSUMES EXISTING TREES TO BE REMOVED.

FOR THE PROPOSED RETENTION OF EXISTING TREES, REFER TO DIALOG'S ALTERNATIVE KWANTLEN STREET X-SECTIONS FOR DETAILS.



TYPICAL X-SECTION: KWANTLEN STREET 'K7'  
 (ULTIMATE - FROM NEW E-W ROAD TO ALDERBRIDGE WAY  
 - ALONG MID-SECTION OF KWANTLEN STREET)



TYPICAL X-SECTION: KWANTLEN STREET 'K8'  
 (ULTIMATE - FROM NEW E-W ROAD TO ALDERBRIDGE WAY  
 - ALONG NORTH SECTION OF KWANTLEN STREET)

X-SECTIONS SHOWN ARE PRELIMINARY/PROPOSED AND SHOULD NOT BE USED FOR CONSTRUCTION. THEY WILL BE DESIGNED/CONFIRMED VIA DETAILED DESIGN PROCESS.

**City of Richmond**  
 8511 126th St, Richmond, B.C., V6V 1Z1

**TITLE: PRELIMINARY CONCEPTUAL SERVING PLAN  
 ULTIMATE - KWANTLEN STREET  
 ANTICIPATED TYPICAL X-SECTIONS**

3300 No. 3 Road  
 CITY FILE # 33-4-4-B

DATE	BY	CHK	APP
2017	AS NOTED		
2017	AS NOTED		
2017	AS NOTED		

NO.	DATE	BY	CHK	APP
B	22 JUN/20	W/T/M	W/T	
A	6 JUN/20	W/T/M	W/T	

NO.	DATE	BY	CHK	APP

NO.	DATE	BY	CHK	APP

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SERVICES

1818-1177 West Hastings Street, Vancouver, B.C., Canada V6Z 1K0  
 Tel: (604) 679-4351 Fax: (604) 679-4061 Email: general@aplinmartin.com

APLIN MARTIN DWG. No. 14-881A-SRV-SEC-23

ALL ELEVATIONS ARE TO EXISTING UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

DATE: 2017.06.06

City Name: \_\_\_\_\_

Project Name: \_\_\_\_\_

Account #:

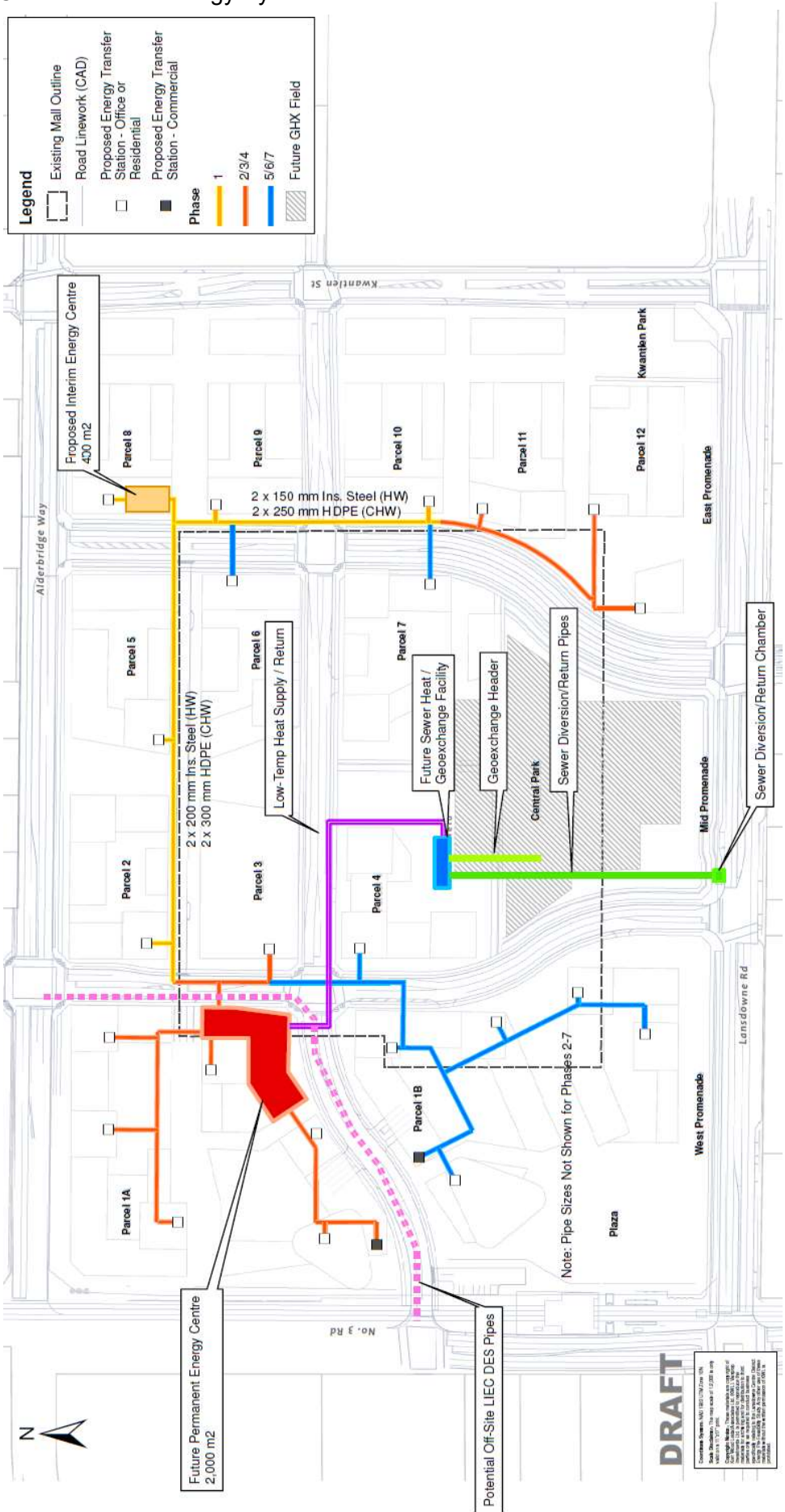
THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, PROVIDE FOR THEIR PROTECTION AND REPAIR FROM REMOVAL, SECONDARY REMOVAL, TRAFFIC LIGHTS, AND/OR STREETS.

DATE: 2017.06.06

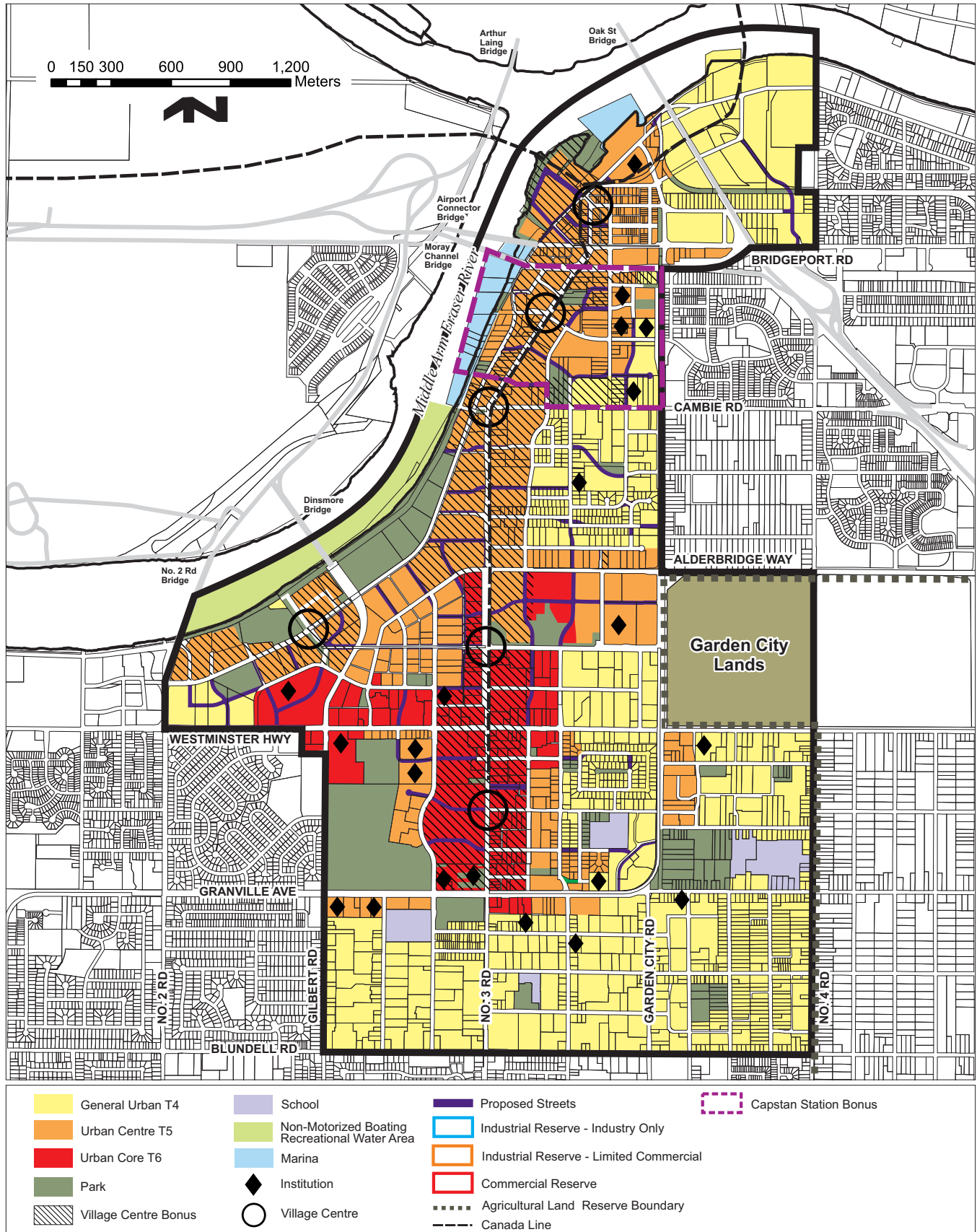
City Name: \_\_\_\_\_

Project Name: \_\_\_\_\_

Account #:

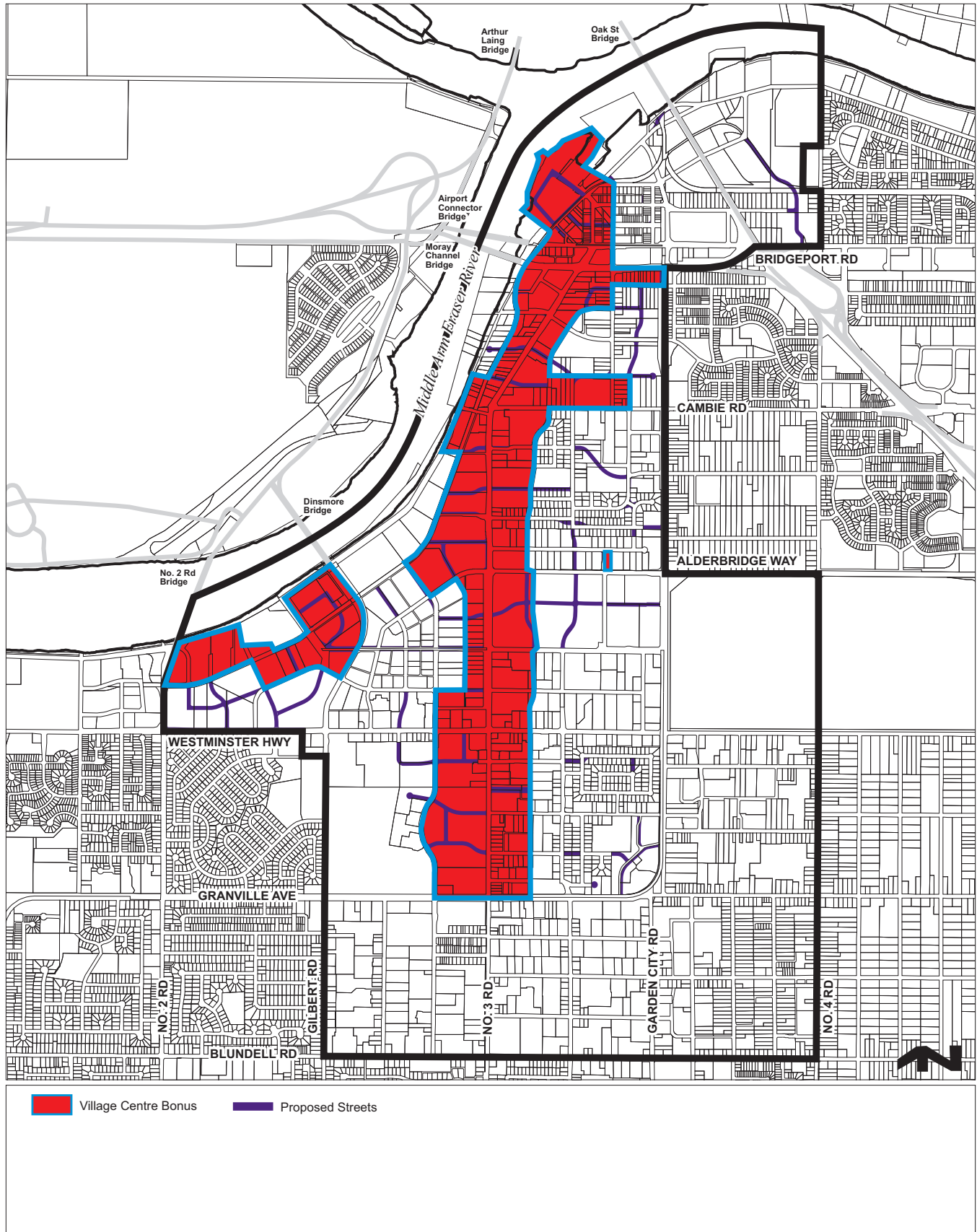


### Generalized Land Use Map (2031)



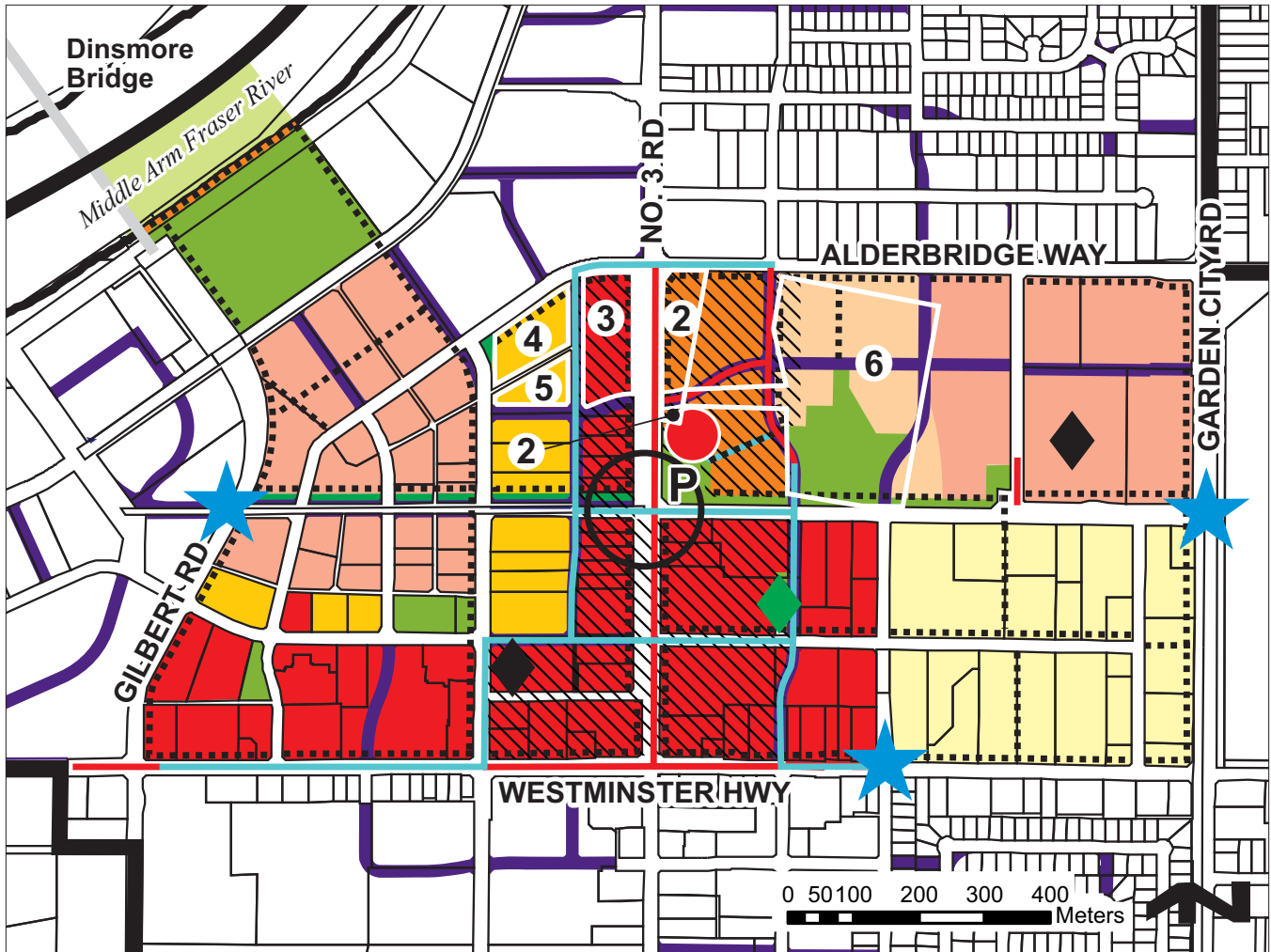
PH - 190

### Overlay Boundary - Village Centre Bonus Map (2031)





### Specific Land Use Map: Lansdowne Village (2031)



General Urban T4 (15m)	Non-Motorized Boating & Recreation Water Area	Proposed Streets
Urban Centre T5 (25m)	Village Centre Bonus	Pedestrian-Oriented Retail Precincts-High Street & Linkages
Urban Centre T5 (35m)	Institution	Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages
Urban Core T5 (45m)	Pedestrian Linkages	Canada Line Station
Urban Core T6 (35m)*	Waterfront Dyke Trail	Transit Plaza
Urban Core T6 (45m)	Enhanced Pedestrian & Cyclist Crossing	Village Centre: No. 3 Road & Lansdowne Road Intersection
<b>Location where site specific maximum building heights apply:</b>	Park	
(43m)	Park - Configuration & location to be determined	
(39.5m)		
(Varies from 31m to 33m)		
(Varies from 32m to 35m)		
(Varies from 36m to 44m)		

\*Increased building height may be permitted for developments that comply with the provisions of the Lansdowne Centre (Lansdowne Village) Special Precinct Design Guidelines.

Bylaw 10020 2019/05/21 Maximum building height may be subject to established Airport Zoning Regulations in certain areas.

<b>Specific Land Use Map: Lansdowne Village – Detailed Transect Descriptions</b>		
<b>Land Use Map Designation</b>	<b>Permitted Uses</b>	<b>Maximum Average Net Development Site Density</b>
<b>General Urban (T4)</b>		
<ul style="list-style-type: none"> <li>Residential permitted.</li> <li>Additional Land Use Considerations:               <ol style="list-style-type: none"> <li>Community Centre (West) – This facility may be situated in the Oval or Lansdowne Village area.</li> </ol> </li> </ul>	<ul style="list-style-type: none"> <li>Mixed Multiple-Family Residential/Commercial Use and Multiple-Family Residential, provided that residential uses are limited to High-Density Townhouses, except that other housing types are permitted to accommodate residents with special needs (e.g., seniors)</li> <li>Office</li> <li>Institutional Use</li> <li>Recreation</li> <li>Studio</li> <li>Community Use</li> <li>Accessory Uses</li> </ul>	<ul style="list-style-type: none"> <li>For Non-Residential Uses: 1.2.</li> <li>For Residential and Mixed Uses including Residential:               <ol style="list-style-type: none"> <li>base: 0.6;</li> <li>Affordable Housing Bonus: 0.6.</li> </ol> </li> </ul>
<b>Urban Centre (T5)</b>		
<ul style="list-style-type: none"> <li>Residential permitted.</li> <li>Overlays:               <ol style="list-style-type: none"> <li>Institution;</li> <li>Pedestrian-Oriented Retail Precincts – “High Streets &amp; Linkages”;</li> <li>Pedestrian-Oriented Retail Precincts – “Secondary Retail Streets &amp; Linkages”.</li> </ol> </li> <li>Additional Land Use Considerations:               <ol style="list-style-type: none"> <li>Community Centre (West, East, South, North) – One or more of these facilities may be situated in this area;</li> <li>Main Library - This facility should be situated within 400 m (1,312 ft.) of Lansdowne Village’s designated Village Centre.</li> </ol> </li> </ul>	<ul style="list-style-type: none"> <li>Mixed Multiple-Family Residential/Commercial Use and Multiple-Family Residential, provided that ground floor dwelling units are:               <ol style="list-style-type: none"> <li>for Pedestrian-Oriented Retail Precincts – “High Streets &amp; Linkages”: Not permitted;</li> <li>for Pedestrian-Oriented Retail Precincts – “Secondary Retail Streets &amp; Linkages”: Live/Work Dwellings.</li> </ol> </li> <li>Hotel</li> <li>Office</li> <li>Retail Trade &amp; Services</li> <li>Restaurant</li> <li>Neighbourhood Pub</li> <li>Institutional Use</li> <li>Recreation Studio (Studio spaces that provide for a high degree of transparency and public access along fronting streets and open spaces shall be considered to satisfy requirements for retail continuity in Pedestrian-Oriented Retail Precincts.)</li> <li>Community Use</li> <li>Accessory Uses</li> </ul>	<ul style="list-style-type: none"> <li>For Non-Residential Uses: 2.0.</li> <li>For Residential and Mixed Uses including Residential:               <ol style="list-style-type: none"> <li>base: 1.2;</li> <li>Affordable Housing Bonus: 0.8.</li> </ol> </li> </ul> <p>Additional density, where applicable:</p> <ul style="list-style-type: none"> <li>Institution: To be determined on a site specific basis via City development application processes.</li> <li>Village Centre Bonus: 1.0 for the provision of non-residential uses, provided that the additional density is used in whole or in part for the provision of convenience commercial uses (e.g. larger-format grocery store, drugstore), medical-dental services, pedestrian-oriented retail, or other uses important to the viability of the Village, to the satisfaction of the City.</li> </ul>
<b>Urban Core (T6)</b>		
<ul style="list-style-type: none"> <li>Residential permitted.</li> <li>Overlays:               <ol style="list-style-type: none"> <li>Village Centre Bonus;</li> <li>Pedestrian-Oriented Retail Precincts – “High Streets &amp; Linkages”;</li> <li>Pedestrian-Oriented Retail Precincts – “Secondary Retail Streets &amp; Linkages”.</li> </ol> </li> <li>Additional Land Use Considerations:               <ol style="list-style-type: none"> <li>Community Centre (West, East, South, North) – One or more of these facilities may be situated in this area;</li> <li>Main Library - This facility should be situated within 400 m (1,312 ft.) of Lansdowne Village’s designated Village Centre.</li> </ol> </li> </ul>	<ul style="list-style-type: none"> <li>As per Urban Centre (T5).</li> </ul>	<ul style="list-style-type: none"> <li>For Non-Residential Uses: 3.0.</li> <li>For Residential and Mixed Uses including Residential:               <ol style="list-style-type: none"> <li>base: 2.0;</li> <li>Affordable Housing Bonus: 1.0.</li> </ol> </li> </ul> <p>Additional density, where applicable:</p> <ul style="list-style-type: none"> <li>Village Centre Bonus: 1.0 for the provision of non-residential uses, provided that the additional density is used in whole or in part for the provision of convenience commercial uses (e.g., larger-format grocery store, drugstore), medical-dental services, pedestrian-oriented retail, or other uses important to the viability of the Village, to the satisfaction of the City.</li> </ul>

Note: Richmond’s Aircraft Noise Sensitive Development (ANSND) Policy applies (OCP Schedule 1) throughout this Village.